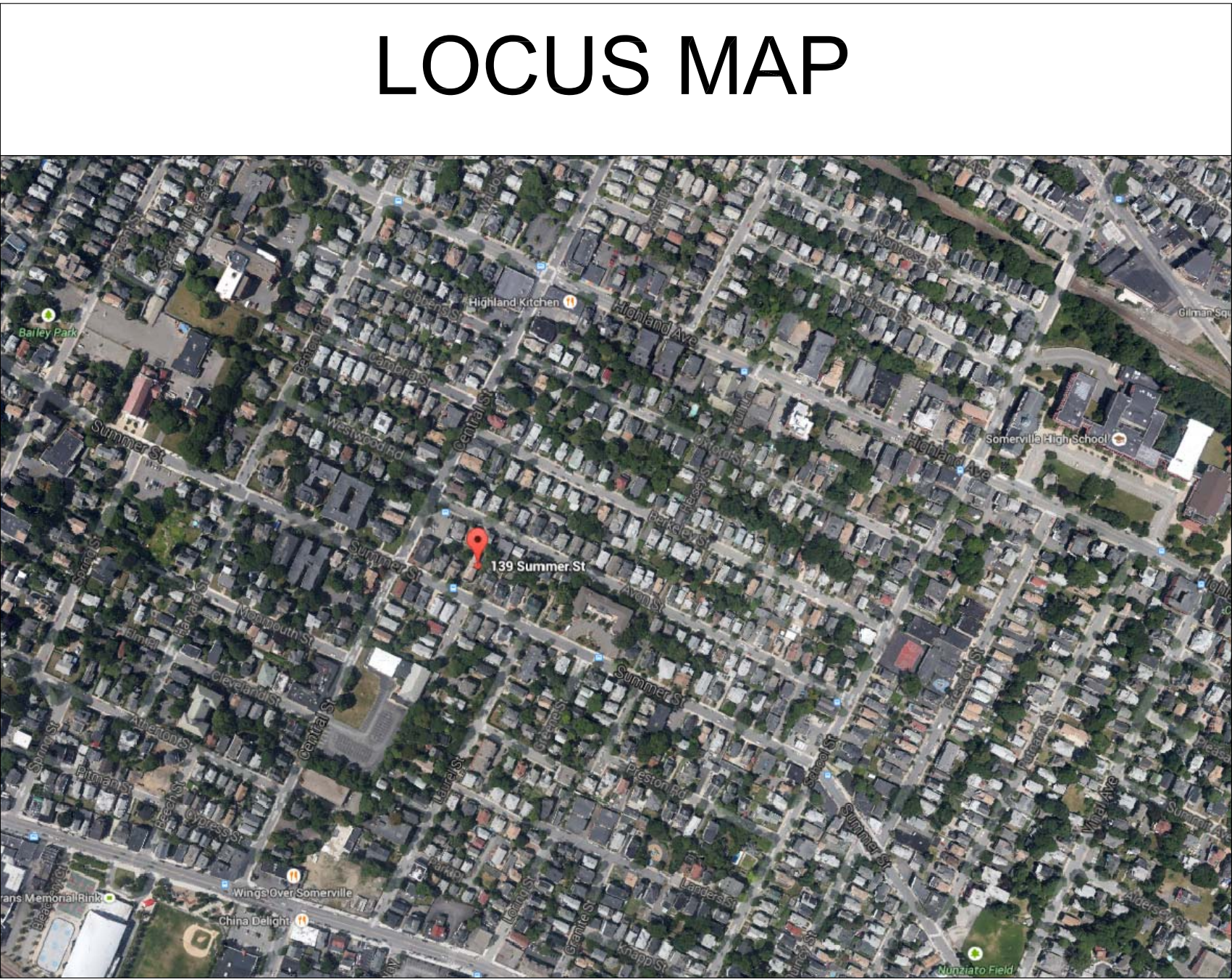


Sheet Number	Sheet Name	Sheet Issue Date
A-000	COVER SHEET	

CIVIL		
C-1	TITLE SHEET	8 / 14 / 2014
C-2	LAYOUT & MATERIALS	8 / 14 / 2014
C-3	GRADING & DRAINAGE	8 / 14 / 2014
C-4	UTILITIES	8 / 14 / 2014
C-5	EROSION & SEDIMENT CONTROL	8 / 14 / 2014
C-6	CONSTRUCTION DETAILS	8 / 14 / 2014
C-7	CONSTRUCTION DETAILS	8 / 14 / 2014

ARCHITECTURAL		
AV-1	PROPOSED MASSING MODEL DIAGRAM	8 / 14 / 2014
A-001	GENERAL NOTES & ABBREVIATIONS	8 / 14 / 2014
A-002	CODE REVIEW & EGRESS PLAN	8 / 14 / 2014
A-010	PROPOSED SITE PLAN	8 / 14 / 2014
EX-100	EXISTING PLANS	8 / 14 / 2014
EX-300	EXISTING ELEVATIONS	8 / 14 / 2014
AD-100	DEMOLITION PLANS	8 / 14 / 2014
A-100	PROPOSED FLOOR PLANS	10 / 10 / 2014
A-101	PROPOSED FLOOR PLANS	10 / 10 / 2014
A-300	PROPOSED ELEVATIONS	10 / 10 / 2014
A-400	SECTION	10 / 10 / 2014
A-500	ROOF/STAIR/WINDOW DETAILS	8 / 14 / 2014
A-600	ENLARGED PLANS & ELEVATIONS	8 / 14 / 2014
A-900	PARTITION TYPES & SCHEDULES	8 / 14 / 2014



139 SUMMER STREET RESIDENCE

SOMERVILLE, MA 02143

SPECIAL PERMIT SET
10-10-2014

OWNER:
EDWARD DOHERTY

SITE ENGINEER:
SALEM VILLAGE CONSULTING
JOHN BORROWS, P.E.
T.978.204.2390

ARCHITECT:
KHALSA DESIGN INC.
17 IVALOO STREET
SOMERVILLE, MA 02143
T.617-591-8682 F.617-591-2068

PROJECT NAME
**SUMMER ST.
RESIDENCE**

PROJECT ADDRESS
**139 SUMMER ST.
SOMERVILLE, MA**

CLIENT
ED DOHERTY

ARCHITECT
KHALSA DESIGN INC.



17 IVALOO STREET, SUITE 400
SOMERVILLE, MA 02143
TELEPHONE 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

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REGISTRATION

Project number 14032
Date 08-14-14
Drawn by AB, TC
Checked by JSK
Scale 3/16"=1'-0"

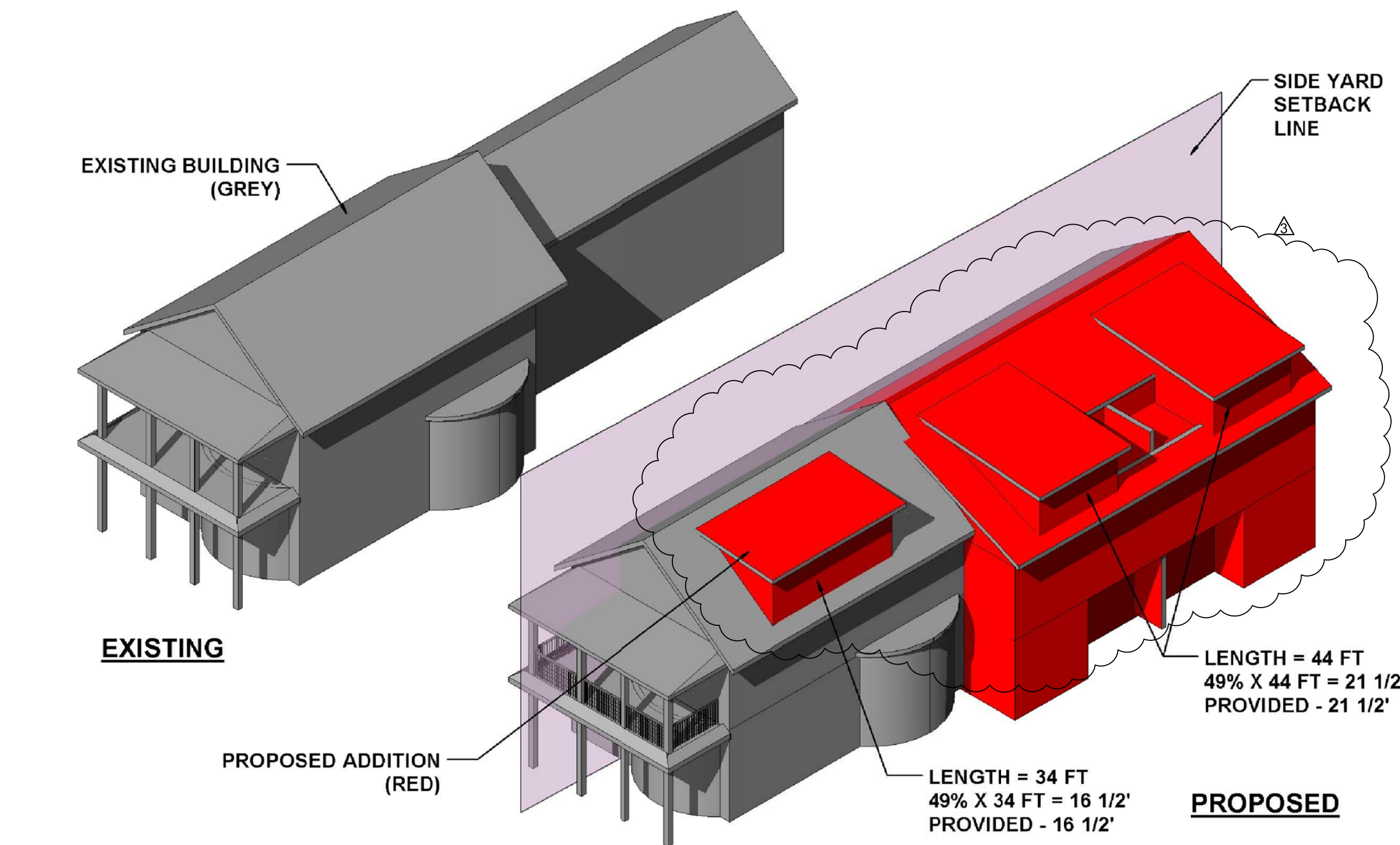
REVISIONS		
No.	Description	Date

COVER SHEET

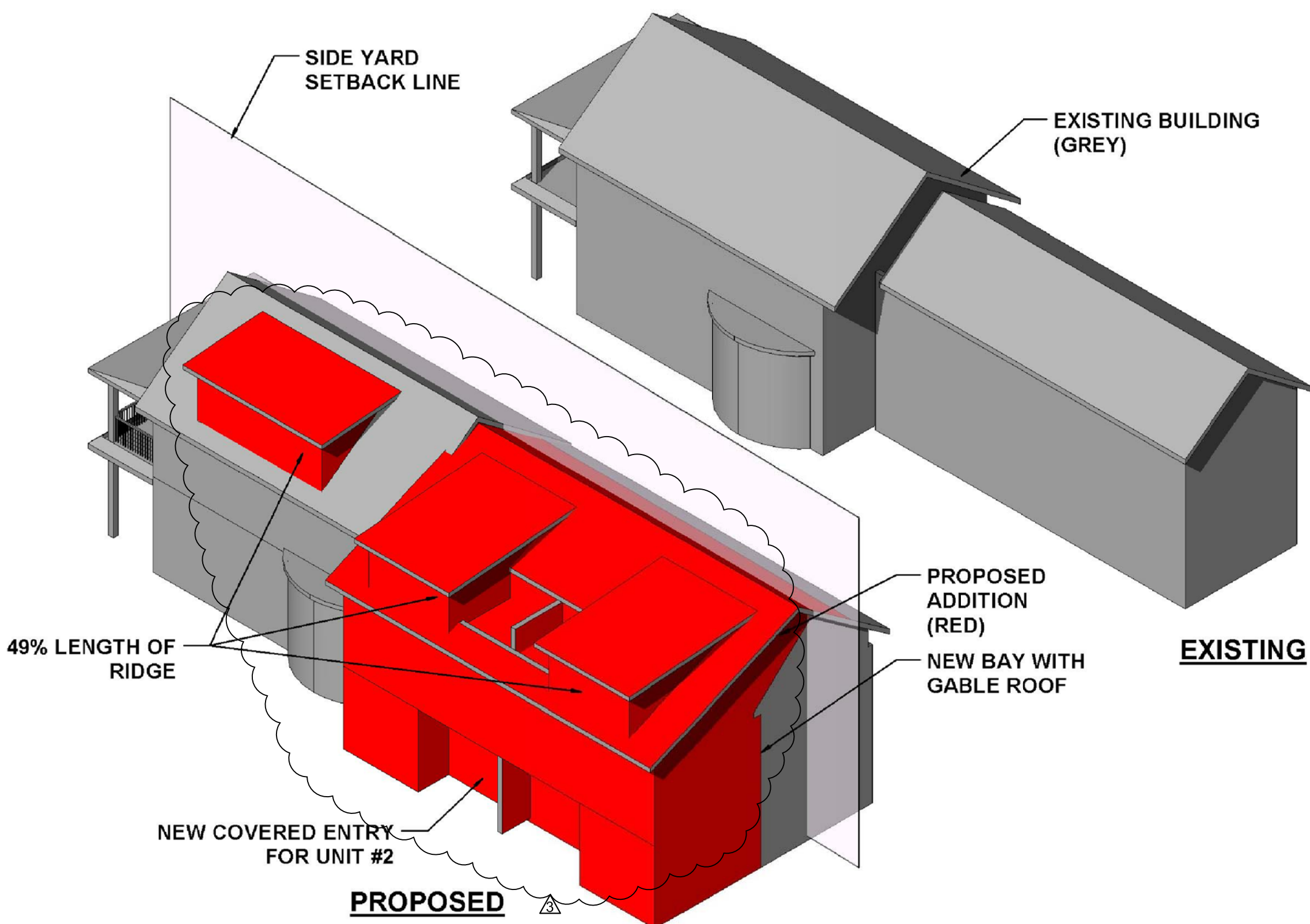
A-000

14032_139 SUMMER ST

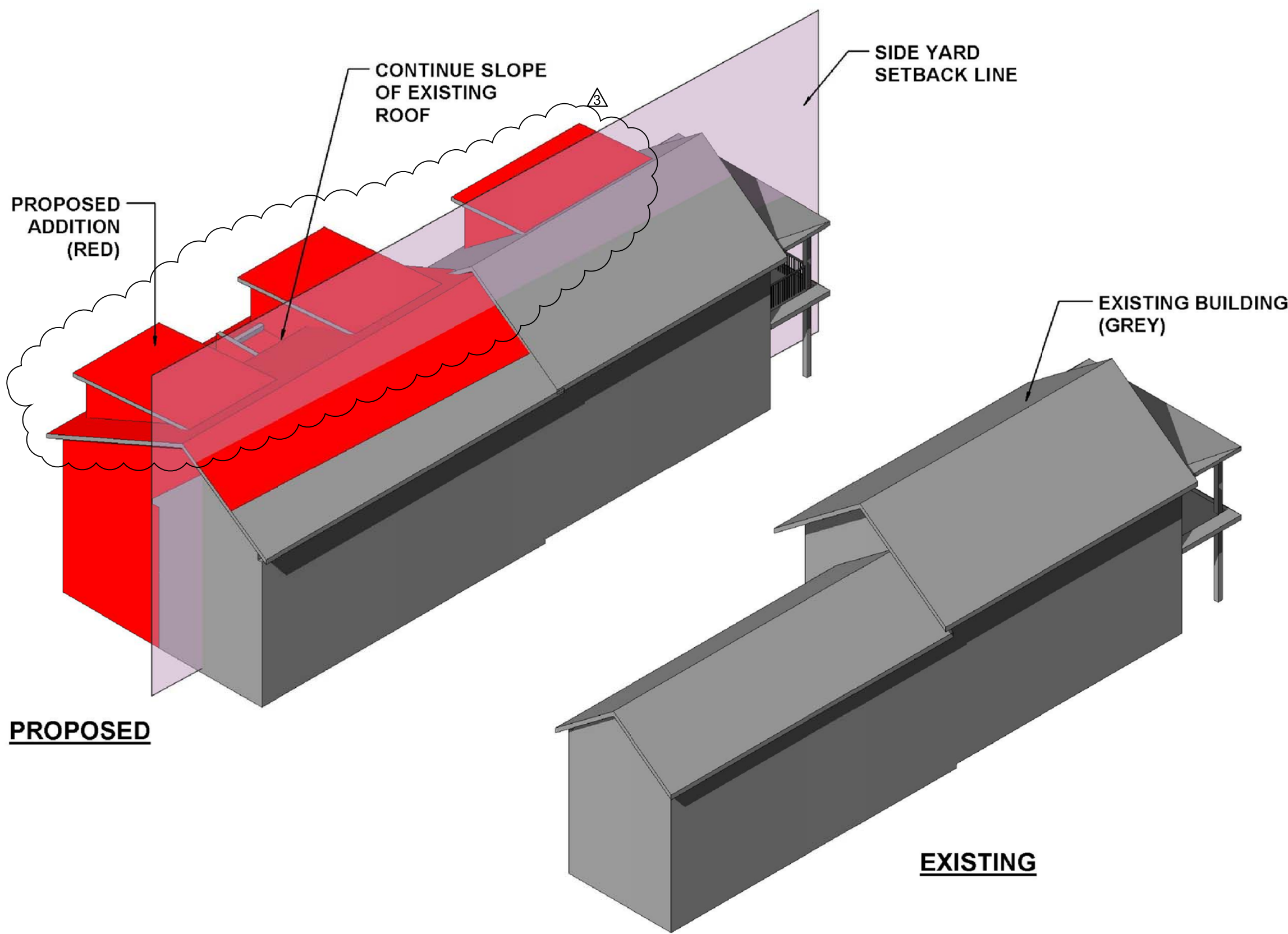
VIEW 1



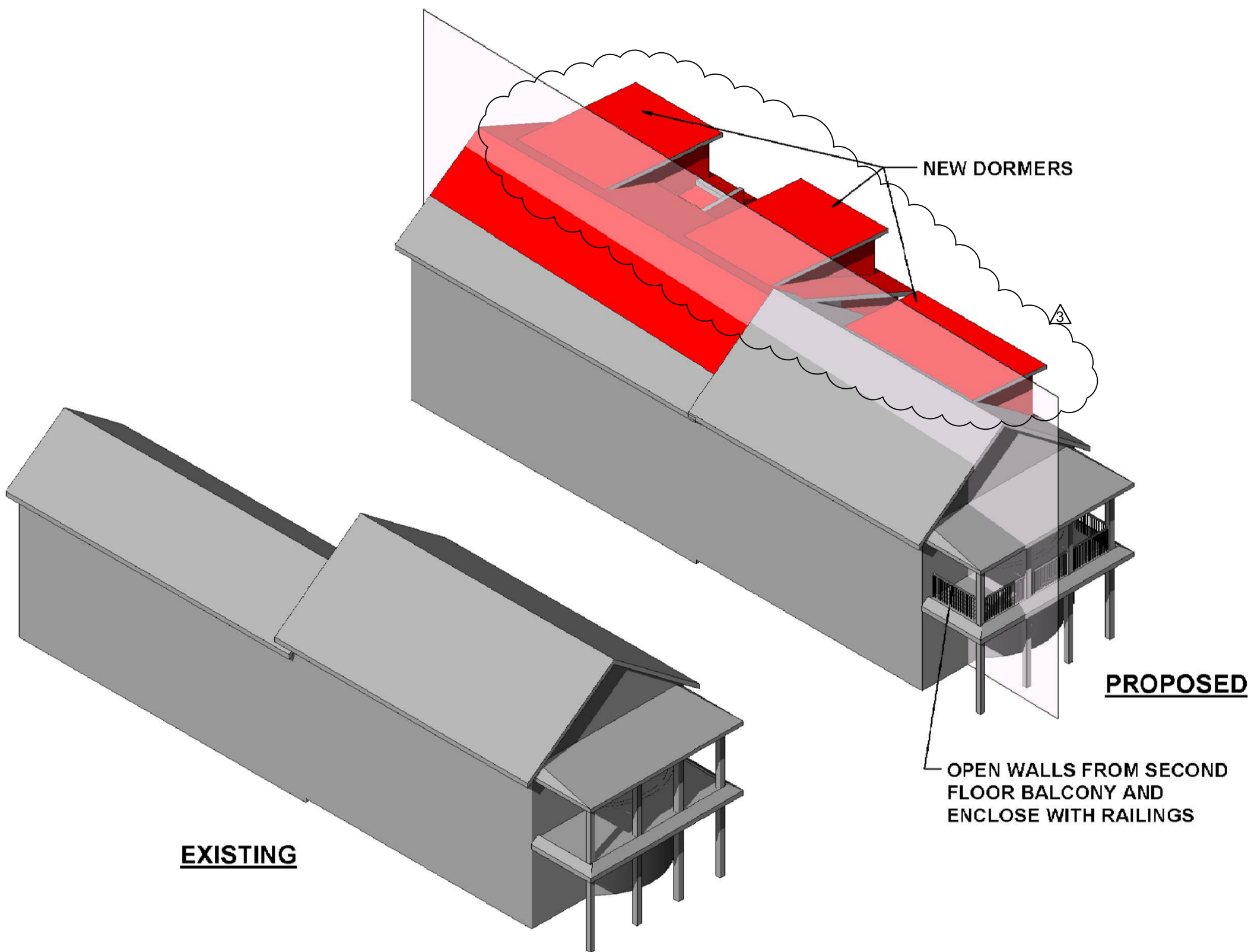
VIEW 2



VIEW 3



VIEW 4



4.4.1. Alteration, Reconstruction, Extension, or Structural Change to a Nonconforming Structure.

Note—§ 4.4.1 was retitled by Ordinance 1991-1 on January 10, 1991.

As provided in M.G.L. c.40A, § 6, as amended, the alteration, reconstruction, extension or structural change to a nonconforming single or two-family residential structure shall not be considered an increase in the nonconforming nature of the structure and shall be permitted as a matter of right upon a determination by the building inspector or the Zoning Administrator under the following circumstances:

(i) Alteration, reconstruction, extension, or structural change to a one- or two-family structure that complies with the dimensional requirements of the zoning ordinance in effect at the time of the application, but is located on a lot with insufficient area, and provided any such alteration, reconstruction, extension or structural change remains in compliance with all current dimensional requirements and does not increase the Gross Floor Area (GFA) of the dwelling by more than twenty-five percent (25%). For the purposes of this definition all percentages of increase shall be cumulative and calculated from square footages existing on the effective date of this ordinance.

(ii) Alteration, reconstruction, extension or structural change to a nonconforming one- or two-family structure not affecting the nonconforming aspect of the one- or two-family structure and where the alteration, reconstruction, extension, or structural change will comply with all current dimensional requirements of the zoning ordinance, and provided any such alteration, reconstruction, extension or structural change does not increase the Gross Floor Area of the dwelling by more than twenty-five percent (25%). For the purposes of this definition all percentages of increase shall be cumulative and calculated from square footages existing on the effective date of this ordinance.

PROJECT NAME
SUMMER ST. RESIDENCE

PROJECT ADDRESS
**139 SUMMER ST.
SOMERVILLE, MA**

CLIENT
ED DOHERTY

ARCHITECT
KHALSA DESIGN INC.



17 VALUO STREET, SUITE 400
SOMERVILLE, MA 02143
TELEPHONE 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

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REGISTRATION

Project number 14032
Date 08-14-14
Drawn by AB, TC
Checked by JSK
Scale NTS

REVISIONS		
No.	Description	Date
1	REVISION 1	05/16/2014
3	GENERAL REVISIONS	12/12/2014

PROPOSED
MASSING MODEL
DIAGRAM

AV-1
14032_139 SUMMER ST

ARCHITECTURAL ABBREVIATIONS

& AND	
A	
AB	ANCHOR BOLT
ACEL	ACCESS FLOOR
ACOUS	ACOUSTICAL
ACT	ACOUSTICAL CEILING TILE
AD	AREA DRAIN
ADD	ADDENDUM
ADDL	ADDITIONAL
ADJ	ADJUSTABLE
ADJ	ADJACENT
ADMIN	ADMINISTRATION
AFF	ABOVE FINISH FLOOR
AHU	AIR HANDLING UNIT
ALT	ALTERNATE
ALUM	ALUMINUM
ANUN	ANNUNCIATOR
AP	ACCESS PANEL
APC	ARCHITECTURAL PRECAST CONCRETE
APROX	APPROXIMATE
ARCH	ARCHITECTURAL
AUTO	AUTOMATIC
AWT	ACOUSTICAL WALL TREATMENT

B	
BA	BUILDING ACCESSORY
BBD	BULLETIN BOARD
BC	BRICK COURSES
BD	BOARD
BFE	BOTTOM FOOTING ELEVATION
BG	BUMPER GUARD
BIT	BITUMINOUS
BKT	BRACKET
BLDG	BUILDING
BLKG	BLOCKING
BLT	BORROWED LIGHT
BLW	BELOW
BM	BEAM
BO	BY OWNER
BOF	BY OWNER FUTURE
BOT	BOTTOM
BR	BRICK
BRG	BEARING
BRL	BRICK LEDGE
BSMT	BASEMENT
BTWN	BETWEEN
BUR	BUILT-UP ROOFING

C	
C	CHANNEL
C DISP	CUP DISPENSER
CAB	CABINET
CG	CORNER GUARD
CH	COAT HOOK
CJT	CONTROL JOINT
CCTV	CLOSED CIRCUIT TELEVISION

D	
D	DEPTH OR DEEP
DEMO	DEMOLITION
DEPR	DEPRESSION
DEPT	DEPARTMENT
DET	DETAILS
DF	DRINKING FOUNTAIN
DIA	DIAGONAL
DIFF	DIFFUSER
DIM	DIMENSION
DISP	DISPENSER
DIST	DISTRIBUTION
DIV	DIVISION
DJT	DUMMY JOINT
DN	DOWN
DP	DEMOUNTABLE PARTITION
DR	DATA PROCESSING
DS	DOOR
DS	DOWNSPOUT
DWB	DUMBWATER
DWG	DRAWING
DWLS	DOWELS

E	
E	EXISTING
EXIST	EXISTING
EC	ELECTRIC CABINET
EF	EXHAUST FAN
EIFS	EXTERIOR INSULATION AND FINISH SYSTEM

F	
FA	FIRE ALARM
FB	FIRE BLANKET
FD	FLOOR DRAIN
FDN	FOUNDATION
FDV	FIRE DEPARTMENT VALVE
FE	FIRE EXTINGUISHER
FES	FOAM GASKET SEAL
FI	FIRE HOSE
FHP	FULL HEIGHT PARTITION
FHV	FIRE HOSE VALVE
FIN	FINISH
FIXT	FIXTURE
FLOOR	FLOOR
FL	FLOW LINE
FLASH	FLASHING
FLEX	FLEXIBLE
FLG	FLANGE
FLUOR	FLUORESCENT
FP	FIRE PROOFING

E	
EJT	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRICAL
ELEV	ELEVATOR
EMERG	EMERGENCY
ENCL	ENCLOSURE
ENTR	ENTRANCE
EO	ELECTRICAL OUTLET
EP	EXPLOSION PROOF
EQUIP	EQUAL EQUIPMENT
ES	END SECTION
EWC	ELECTRIC WATER COOLER
EXA	EXHAUST AIR
EXC	EXCAVATE-ED-I/ON
EXH	EXHAUST HOOD
EXIST	EXISTING
EXP	EXPANSION
EXT	EXTERIOR
EL	ELECTRIC CABINET
EFS	EXHAUST FAN
EIFS	EXTERIOR INSULATION AND FINISH SYSTEM
EJT	EXPANSION JOINT
EL	ELEVATION
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FHV	FIRE HOSE VALVE
FIN	FINISH
FIXT	FIXTURE
FLOOR	FLOOR
FL	FLOW LINE
FLASH	FLASHING
FLEX	FLEXIBLE
FLG	FLANGE
FLUOR	FLUORESCENT
FP	FIRE PROOFING

F	
FRMG	FRAMING
FS	FULL SIZE
FS	FLOOR SINK
FSTOP	FIRESTOPPING
FT	FOOT/FEET
FTG	FOOTING
FTR	FIN TUBE RADIATION
FURR	FURRING
FUT	FUTURE

G	
GA	GAUGE
GAL	GALLONS
GALV	GALVANIZED
GB	GRAB BAR
GB	GRADE BEAM
GC	GENERAL CONTRACTOR
GEN	GENERATOR
GEN	GENERAL
GL	GLASS
GMU	GLASS MASONRY UNIT
GR	GRADE
GWB	GYP SUM BOARD
GWB/SK	GYP SUM BLUE BOARD W/ PLASTER SKIN COAT
GYP SHGT	GYP SUM SHEATHING

H	
H	HIGH
HB	HOSE BIB
HD	HAND DRYER
HDCP	HANDICAP
HDR	HEADER
HDW	HARDWARE
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HPT	HIGHPOINT
HR	HANDRAIL
HT	HEIGHT
HTR	HEATER
HVAC	HEATING, VENTILATING, AIR CONDITIONING
HW	HOT WATER
HWd	HARDWOOD

I	
IC	INTERCOM
ID	INSIDE DIAMETER
IN	INCH
INSUL	INSULATION
INT	INTERIOR
ISO	ISOLATION

J	
JAN	JANITOR
JB	JUNCTION BOX
JST	JOIST
JT	JOINT

K	
KO	KNOCK OUT

L	
L	ANGLE
LAV	LAVATORY
LAV	LAVATORY
LB	POUND
LCD	LINEAR CEILING DIFFUSER
LF	LINE FIGURED
LIN	LINEAR
LKR	LOCKER
LHL	LONG LEG HORIZONTAL
LLV	LONG LEG VERTICAL
LNC	LINEAR METAL CEILING
LOC	LOCATION OR LOCATE
LPT	LOW POINT
LS	LAWN SPRINKLING
LT	LIGHT
LTG	LIGHTING
LVR	LOUVER
LWC	LINEAR WOOD CEILING

M	
M	MIDDLE
MAN	MANUAL
MATL	MATERIAL
MAX	MAXIMUM
MBD	MARKER BOARD
MC	MEDICINE CABINET
MCU	MODULAR COOLING UNIT
MECH	MECHANICAL
MEMB	MEMBRANE
METAL	METAL
MEZZ	MEZZANINE
MFR	MANUFACTURER
MH	MANHOLE
MHC	MATERIAL HANDLING CONVEYOR
MINIMUM	MINIMUM
MIR	MIRROR
MISC	MISCELLANEOUS
MO	MASONRY OPENING
MONO	MONOLITHIC
MPC	METAL PAN CEILING
MPU	MULTIPURPOSE UNIT
MTD	MOUNTED
MTR	MOTOR
MULL	MULLION

N	
NA	NOT APPLICABLE
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
NRC	NOISE REDUCTION COEFFICIENT
NT	NOTE
NTS	NOT TO SCALE

O	
OC	ON CENTER
OD	OUTSIDE DIAMETER
OFF	OFFICE
OH	OVERHEAD
OP	OPERABLE PARTITION
OPER	OPERATOR
OPNG	OPENING
OPP	OPPOSITE
ORD	OVERFLOW ROOF DRAIN

P	
PART	PARTITION
PB	PUSH BUTTON
PC	PRECAST CONCRETE
PCD	PAPER CUP DISPENSER
PED	PEDESTAL
PL	PLATE
PL	PROPERTY LINE
PLAM	PLASTIC LAMINATE
PLBG	PLUMBING
PLS	PLASTER
PLW	PLYWOOD
PNL	PANEL
PR	PAIR
PRELIM	PRELIMINARY
PRES	PLASTIC RESIN
PRESS	PRESSURE
PRM	PRIMARY
PROJ	PROJECTION
PRV	POWER ROOF VENTILATOR
PT	PAINT
PTC	PAPER TOWEL CABINET
PTR	PRINTER
PVC	POLYVINYL CHLORIDE

Q	
QT	QUARRY TILE

R	
R	RADIUS
R	RISER
RA	RETURN AIR
RAD	RADIATION
RB	RESILIENT BASE
RD	ROOF DRAIN
RE	RELOCATE EXISTING
REC	RECESSED
REF	REFERENCE
REFR	REFRIGERATOR
REG	REGISTER
REINF	REINFORCE-ED-I/NG
REM	REMOVE
REQD	REQUIRED
RET	RETAINING
REV	REVERSE
REV	REVISE
RF	RESILIENT FLOOR
RH	ROOF HATCH
RIR	ROOF RAKE
RO	ROUGH OPENING
RS	ROUGH SLAB
RWC	RAIN WATER CONDUCTOR

S	
S	SINK
SCHED	SCHEDULE
SD	SHOWER DRAIN
SD	SMOKE DAMPER
SDISP	SOAP DISPENSER
SECT	SECTION
SECY	SECRETARY
SF	STORE FRONT
SF	SQUARE FOOT
SH	SHOWER
SHD	SHOWER HEAD
SHT	SHEET
SHTG	SHEATHING
SIM	SIMILAR
SN	SEALER
SLNT	SEALANT
SLV	SLEEVE
SM	SURFACE MOUNTED
SNC	SANITARY NAPKIN CABINET
SND	SANITARY NAPKIN DISPOSER
SG	SLAB ON GRADE
SP	STANDPIPE
SPEC	SPECIFICATIONS
SPR	SINGLE PLY ROOF
SQ	SQUARE
SQ YD	SQUARE YARD
SR	SERVICE RECEPTOR
SR	SERVICE SINK
SST	STAINLESS STEEL
ST	STREET
ST	STONE TILE
STD	SOUND TRANSMISSION
STD	STANDARD
STL	STEEL
STN	STONE
STNL	STONE LEDGE
STR	STOR
STRUCT	STRUCTURAL

S	
STS	STEEL STRUCTURE
SUPV	SUPERVISOR
SUSP	SUSPENDED
SW	STEEL WINDOWS
SW	SWITCH
SWD	SOFTWOOD
SYM	SYMMETRICAL

T	
T	TOP
TAN	TANGENT
TBD	TACKBOARD
TC	TIME CLOCK
TCAB	TOWEL CABINET
TDISP	TISSUE DISPENSER
TDR	TRENCH DRAIN
TEL	TELEPHONE
TEMP	TEMPERATURE
TER	TERRAZZO
TG	TONGUE & GROOVE
THRES	THRESHOLD
TPG	TEMPERED PLATE GLASS
TPH	TOILET PAPER HOLDER
TR	TREAD
TRANSF	TRANSFORMER
TS	TUBE SECTION
TV	TELEVISION
TYP	TYPICAL

U	
U	URINAL
UC	UNDERCUT
UFD	UNDER FLOOR DUCT
UG	UNDERGROUND
UH	UNIT HEATER
UNFIN	UNFINISHED
UNO	UNLESS NOTED OTHERWISE
US	UTILITY SHELF
UTIL	UTILITY

V	
VC	VALVE CABINET
VENT	VENTILATION
VERT	VERTICAL
VEST	VESTIBULE
VTR	VAPOR RETARDER
VTR	VENT THROUGH ROOF

W	
W	WIDTH/WIDE
W	WIDE FLANGE
W	WITH
W/O	WITHOUT
WC	WATER CLOSET
WC	WALL COVERING
WD	WOOD
WDW	WINDOW
WG	WALL GUARD
WH	WALL HYDRANT
WHC	WHEELCHAIR
WTHR	WATER HEATER
WP	WATERPROOF
WR	WASTE RECEPTACLE
WS	WEATHERSTRIP
WSC	WAINSCOT
WT	WINDOW TREATMENT
WT	WEIGHT
WWF	WELDED WIRE FABRIC

SYMBOLS

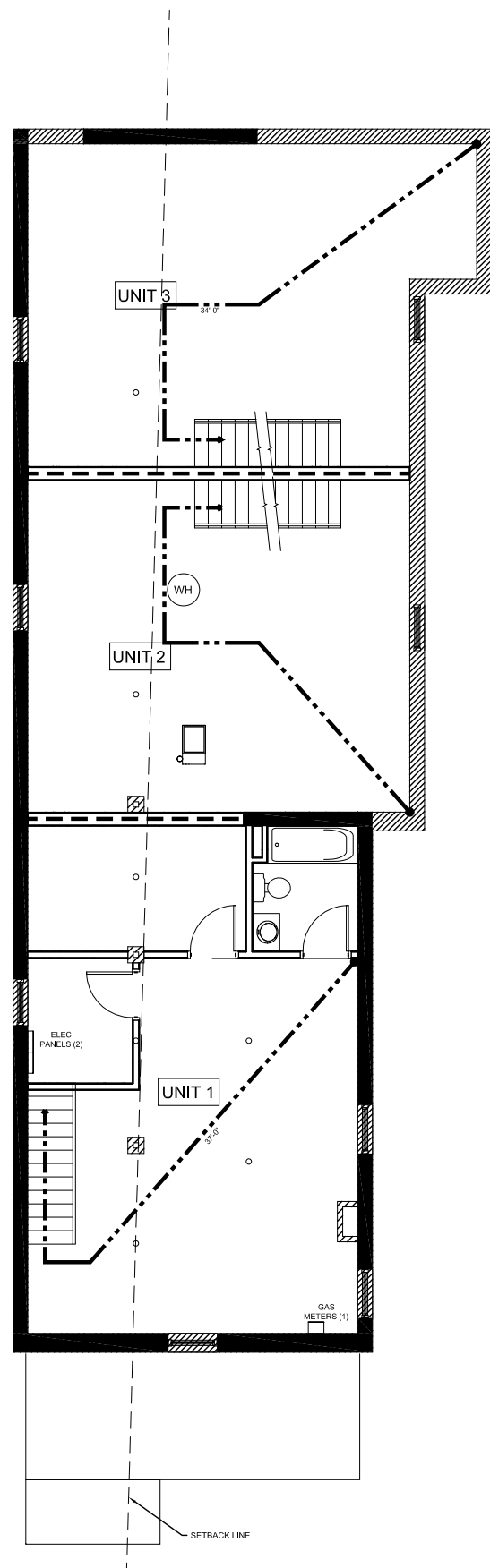
	LEVEL LINE, CONTROL OR DATUM ELEVATION		DETAIL REFERENCE DRAWING NUMBER
	REVISION NUMBER		EXTERIOR ELEVATION NUMBER
	PARTITION TYPE		INTERIOR ELEVATION KEY
	ROOM/SPACE NUMBER		DOOR NUMBER
	CASEWORK TYPE		SEALANT AND BACKER ROD JOINT
	INTERIOR WINDOW TYPE		DASH AND DOT CENTER LINE
	WINDOW TYPE		DASH AND DOUBLE DOT LINES PROPERTY LINES, BOUNDARY LINES
	COLUMN REFERENCE GRID		DOTTED LINE HIDDEN OR CONSTRUCTION ABOVE, BEYOND
	BUILDING SECTION REFERENCE DRAWING NUMBER		BREAK LINE TO BREAK OFF PARTS OF A DRAWING
	WALL SECTION REFERENCE DRAWING NUMBER		DIMENSION LINE
	SECTION DETAIL REFERENCE DRAWING NUMBER		

INDICATION OF MATERIALS

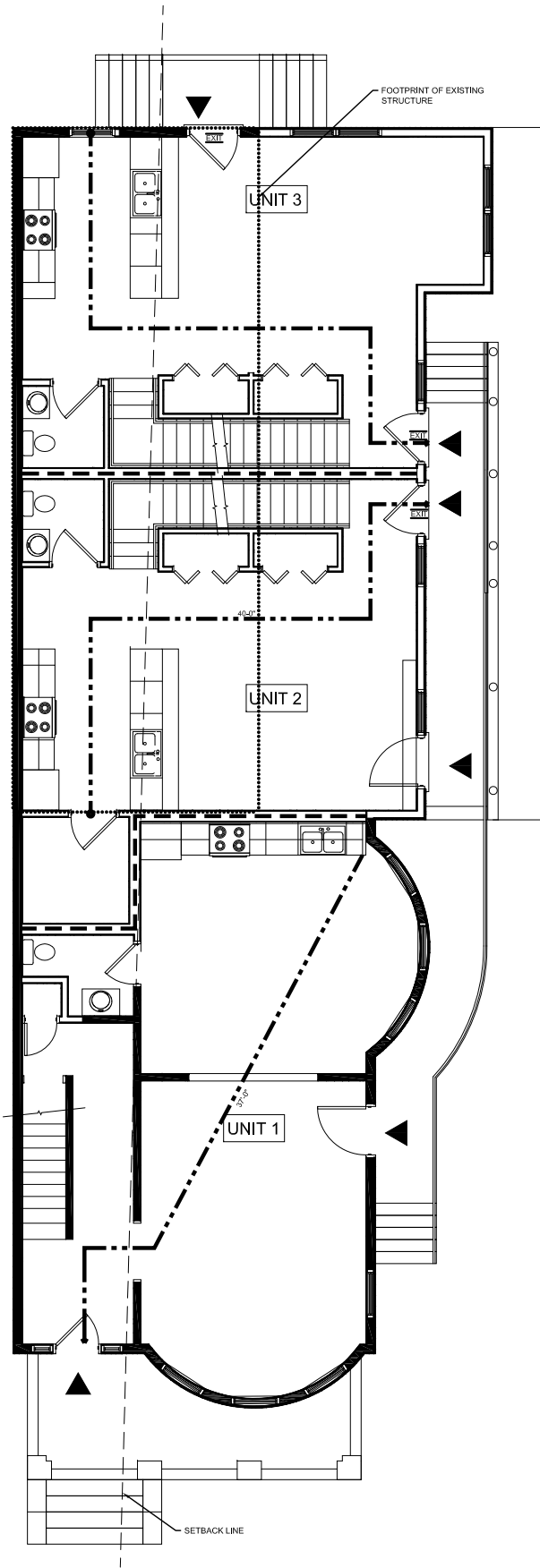
EARTH		EARTH/COMPACT FILL		POROUS FILL/ GRAVEL
CONCRETE		CONCRETE		SAND MORTAR
MASONRY		BRICK		CONCRETE MASONRY UNIT
STONE		RUBBLE		MARBLE
METAL		STEEL/IRON		ALUMINUM
WOOD		WOOD SHIM		CONTINUOUS BLOCKING
		PLYWOOD		FINISH
GLASS		GLASS		GLASS BLOCK
INSULATION		BATT/ LOOSE FILL		RIGID
		FIRE SAFING		
FINISHES		GYP SUM WALL BOARD		ACOUSTICAL TILE

GENERAL NOTES

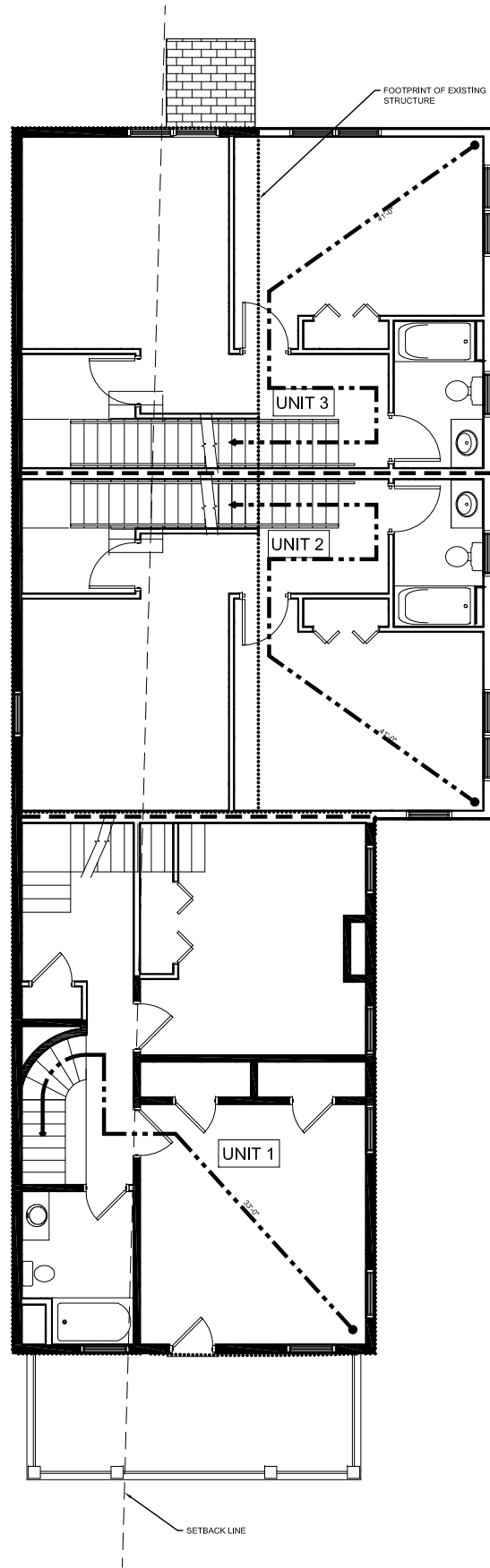
- THE CONDITIONS FOR THIS CONTRACT SHALL BE BASED ON OWNER/ARCHITECT AGREEMENT EXCEPT AS AMENDED HEREIN.
- SCOPE : WORK TO INCLUDE DEMOLITION AND CONSTRUCTION AS INDICATED ON THE DRAWINGS NECESSARY FOR A COMPLETE INSTALLATION. EACH CONTRACTOR SHALL RESPECT THE WORK OF OTHER CONTRACTORS AND ARE RESPONSIBLE FOR AND LIABLE TO REPAIR OR REPLACE ANY DAMAGE CAUSED BY THEIR WORK.
- CODES : ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH LOCAL AND STATE CODES AND REGULATIONS HAVING JURISDICTION. THE CONTRACTOR SHALL PROTECT AND INDEMNIFY THE OWNER AND ARCHITECT AGAINST ANY CLAIM OR LIABILITY ARISING FROM ANY SUCH CODE OR REGULATION.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS, INSPECTIONS AND APPROVALS.
- QUALITY : WORKMANSHIP SHALL BE OF THE HIGHEST TYPE, AND MATERIALS USED OR SPECIFIED OF THE BEST QUALITY THAT THE MARKET AFFORDS. ALL INSTALLATIONS AND APPLICATIONS SHALL CONFORM TO THE MANUFACTURERS SPECIFICATIONS.
- COORDINATION OF THE WORK : THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK CONTRACT FROM THE CONTRACTOR OR THE OWNER. THE CONTRACTORS INSTRUCTIONS SHALL BE FOLLOWED BY ALL TRADES.
- MECHANICAL TRADES : THE MECHANICAL AND ELECTRICAL TRADES SHALL INSTALL THEIR WORK AS RAPIDLY AS THE OTHER WORK PERMITS AND SHALL COMPLETE THIS WORK BY THE TIME THE OTHER TRADES HAVE FINISHED.
- EXAMINATION OF THE SITE AND DOCUMENTS : THE CONTRACTOR, BEFORE SUBMITTING HIS PROPOSAL, SHALL VISIT THE SITE AND EXAMINE FOR HIMSELF ALL CONDITIONS AND LIMITATIONS WHICH EFFECT THE CONTRACT. THE CONTRACTOR SHALL CAREFULLY EXAMINE ALL CONTRACT DOCUMENTS, TITLES AND SUBDIVISIONS IN THESE DOCUMENTS ARE FOR CONVENIENCE, AND NO REAL OR ALLEGED ERRORS IN ARRANGEMENT OF MATTER SHALL BE REASON FOR OMISSION OR DUPLICATION BY ANY CONTRACTOR.
- SEPARATE CONTRACTS : THE OWNER RESERVES THE RIGHT TO LET OTHER CONTRACTS IN CONNECTION WITH THE WORK. THE GENERAL CONTRACTOR SHALL AFFORD OTHER CONTRACTORS REASONABLE OPPORTUNITY FOR THE EXECUTION OF THEIR WORK AND SHALL PROPERLY CONNECT AND COORDINATE HIS WORK WITH THEIRS.
- GARANTEE : ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE UNLESS SPECIFIED OTHERWISE FOR A LONGER PERIOD OF TIME ON CERTAIN ITEMS.
- TRASH REMOVAL : PRIOR TO STARTING WORK, THE GENERAL CONTRACTOR SHALL PROVIDE A CONSTRUCTION DUMPSTER AND PICKUP SERVICE FOR ALL CONSTRUCTION DEBRIS (DUMPSTER LOCATION TO BE COORDINATED WITH THE OWNER). AT THE END OF EACH DAY, THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE AND OR WITHIN THE BUILDING. IF TRASH AND DEBRIS ARE NOT REMOVED, THE OWNER MAY (AT HIS OPTION) PAY FOR THE REMOVAL AND BACK CHARGE THE CONTRACTOR.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- ALL SECTIONS, DETAILS, MATERIALS, METHODS, ETC. SHOWN AND/OR NOTED ON ANY PLAN OR SECTION SHALL APPLY TO ALL OTHER SIMILAR LOCATIONS UNLESS OTHERWISE NOTED.
- THE GENERAL CONTRACTOR SHALL SAFELY SHORE, BRACE, OR SUPPORT ALL WORK AS REQUIRED, THIS WORK SHALL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR AND NO ACT, DIRECTION, OR REVIEW OF ANY SYSTEM OR METHOD BY THE ARCHITECT SHALL RELIEVE THE CONTRACTOR OF THIS RESPONSIBILITY.
- IT IS NOT THE INTENT OF THESE DRAWINGS TO SHOW NOR INDICATE ANY OR ALL FASTENING OR FRAMING TECHNIQUES /DEVICES, NOR BE ABLE TO SHOW ALL CONDITIONS PRESENT.
- ALL WORK IS NEW UNLESS OTHERWISE NOTED.
- ALL WALLS AND CEILINGS TO BE 5/8" FIRE CODE OR 1/2" GYP SUM BOARD, 5/8" MOISTURE RESISTANT TYPE X OR 5/8" CEMENT BOARD. FINISH AND TEXTURE TO BE SELECTED BY OWNER. MATERIAL AS MANUFACTURED BY U.S. GYP SUM OR EQUAL FINISH (CEMENT ACCESSORIES AND TAPE OR SKIM COAT). ALL JOINTS AND NAIL HEADS READY FOR PAINT. TILE, WOOD TRIM, PVC, OR PANELING.
- STORAGE : THE CONTRACTOR SHALL PROVIDE ON SITE WEATHER PROTECTED STORAGE SPACE, I.E.: TRAILER. STORAGE OF CONSTRUCTION MATERIALS IN THE EXISTING BUILDING WILL NOT BE PERMITTED.
- PROTECTION : THE CONTRACTOR SHALL PROTECT ALL PUBLIC AND ADJACENT AREAS FROM DAMAGE DURING CONSTRUCTION.
- TEMPORARY SERVICES : THE CONTRACTOR WILL PAY FOR EXISTING SERVICES (WATER, TELEPHONE AND ELECTRICITY) AND WILL TURN OVER THESE SERVICES TO THE OWNER UPON FINAL ACCEPTANCE OF THIS PROJECT.
- THE CONTRACTOR SHALL VERIFY LOCATION AND ACTUAL DEPTH OF ALL EXISTING SANITARY PIPING, STORM DRAINS, GAS AND WATER MAINS, ELECTRIC LINES AND PIPES. HE IS ALSO ADVISED TO VERIFY ACTUAL INVERTS OF SANITARY AND STORM LINES BY HAND DUG TEST PITS WELL IN ADVANCE OF TRENCHING AND CONSTRUCTION. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE ARCHITECT. ALL NECESSARY PERMITS AND APPROVALS MUST BE OBTAINED FROM PROPER AUTHORITIES.
- ARCHITECTURAL, MECHANICAL, ELECTRICAL, ELEVATOR, & SPRINKLER : EACH CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
- DAMAGE : THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING BUILDING, WALLS, CEILINGS, FLOORS, FURNITURE AND FURNISHINGS. DAMAGED SURFACES DUE TO CONSTRUCTION TO BE PATCHED, REPAIRED AND/OR REPLACED AS REQUIRED AND BLEND TO MATCH EXISTING ADJACENT SURFACES AT NO ADDITIONAL COST TO OWNER.
- THE GENERAL CONTRACTOR SHALL PREPARE A BOOKLET CONTAINING : LIST OF SUBCONTRACTORS USED ON THIS JOB WITH NAMES, ADDRESSES AND TELEPHONE NUMBERS. ALL WARRANTIES AND INSTRUCTION MANUALS FOR EQUIPMENT AND MATERIALS INSTALLED WILL BE ISSUED TO THE OWNER PRIOR TO FINAL ACCEPTANCE OF BUILDING, AND PRESENT BOOKLET TO OWNER PRIOR TO FINAL ACCEPTANCE OF OWNER.
- CARPET AND/OR TILE : CARPET AND/OR TILE AS SELECTED AS PER DRAWINGS.
- HANDICAPPED REQUIREMENTS : THE GENERAL CONTRACTOR WILL ACQUAINT HIMSELF WITH THE ARCHITECTURAL ACCESS BOARD (AAB) CODE FOR THE STATE OF MASSACHUSETTS AND THE ADA (AMERICANS WITH DISABILITIES ACT) TO ENSURE THAT THIS FACILITY WILL BE ACCESSIBLE.
- SPRINKLER HEAD LOCATION : REFER TO N.F.P.A. STANDARDS. SPRINKLER HEADS TO BE LOCATED PER CODE. SHOP DRAWINGS ARE REQUIRED TO BE SUBMITTED TO THE CONTRACTOR FOR APPROVAL PRIOR TO INSTALLATION.
- THE GENERAL CONTRACTOR SHALL COORDINATE THE LOCATION AND SIZE OF OPENINGS FOR VENTS, PIPES, INSERTS, BOXES, HANGERS, ETC.
- ALL INTERIOR FINISHES AND FURNISHINGS FOR CEILINGS, WALL AND FLOORS SHALL BE CLASS 1in WITH A FLAME SPREAD RATING OF 0 TO 25.
- SUBMIT SAMPLES OF ALL PAINTS AND STAINS FOR APPROVAL PRIOR TO APPLICATION.
- BEFORE COMMENCING WORK, THE GENERAL CONTRACTOR WILL MEET WITH THE APPOINTED COMPANY REPRESENTATIVE TO OUTLINE PHASING OF CONSTRUCTION AND DISPOSITION OF EXISTING CONSTRUCTION MATERIALS AND/OR EQUIPMENT.
- ALL WOODS BLOCKING TO BE PRESSURE TREATED, FIRE RETARDANT.



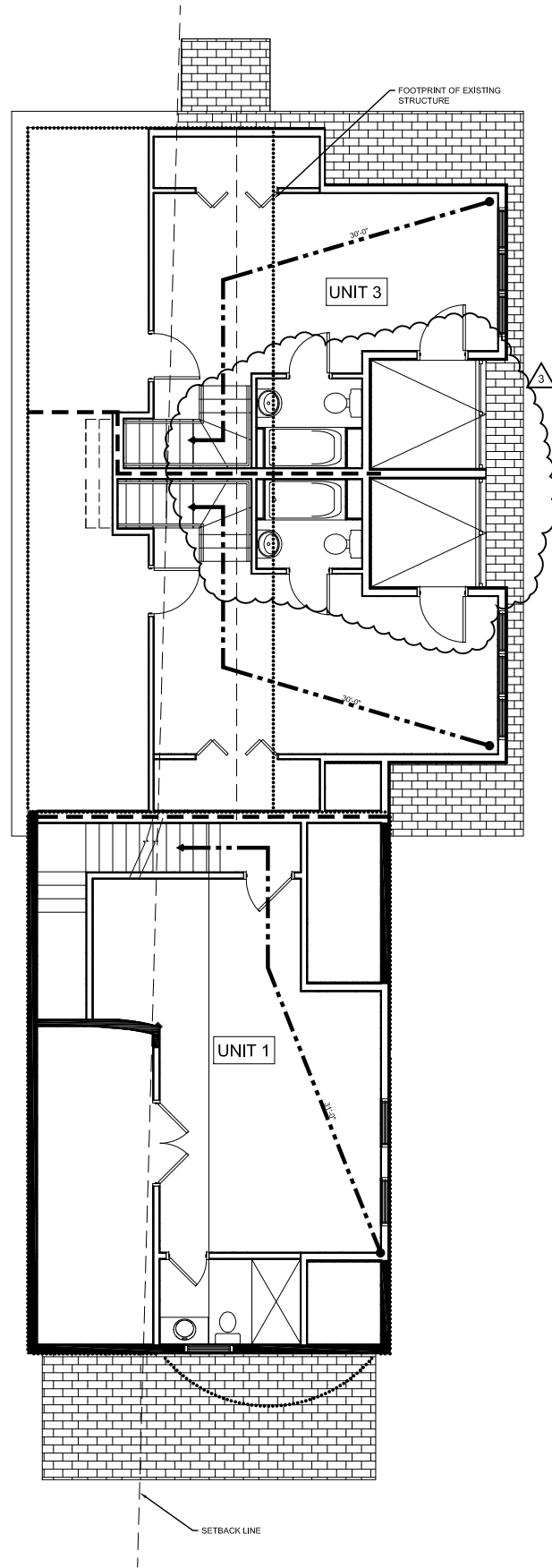
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08/03/16-11-07



2 CODE REVIEW - FIRST FLR.
08/03/16-11-07



3 CODE REVIEW - SECOND FLR.
08/03/16-11-07



1 CODE REVIEW - THIRD FLR.
08/03/16-11-07

FIRE PROTECTION LEGEND

----- 1HR FIRE RATED WALL/PARTITION
- - - - - EXIT PATH

BUILDING CODE REVIEW

MASSACHUSETTS STATE BUILDING CODE

TOTAL GROSS FLOOR AREA: 5,278 SF

USE GROUP:R-3

TABLE 503:

NO	FLOOR	USE GROUP	TYPE OF CONSTRUCTION	TOTAL ALLOWED		PROVIDED		REMARKS
				AREA S.F. ALLOWED	STORIES/ HEIGHT	AREA S.F.	STORIES/ HEIGHT	
1	FIRST	"R2"	RESIDENTIAL SINGLE FAMILY "5B"	UNLIMITED	3/60'	1,955	3	SEE NOTES BELOW FOR ADDITIONAL INFORMATION
2	SECOND	"R2"	RESIDENTIAL SINGLE FAMILY "5B"	UNLIMITED	3/60'	2,026	3	SEE NOTES BELOW FOR ADDITIONAL INFORMATION
3	THIRD	"R2"	RESIDENTIAL SINGLE FAMILY "5B"	UNLIMITED	3/60'	1,291	3	SEE NOTES BELOW FOR ADDITIONAL INFORMATION
TOTAL FLOOR AREA				UNLIMITED	3/60'	5,272	3/33.66'	

UL = UNLIMITED

AREA ANALYSIS:

USE GROUP - TABLE 503 - ALLOWABLE BUILDING HEIGHTS & AREAS
(R-2)
UNLIMITED SF
40 FEET HEIGHT
506.3 - AUTOMATIC SPRINKLER SYSTEM INCREASE
INCREASE BUILDING AREA LIMITATION IN TABLE 503 BY 200 PERCENT
2 STORIES ABOVE GRADE + 1 STORY W/ SPRINKLER INCREASE (504.2)

SECTION 508.4

Fire Resistance Rating Requirements for Fire Separation Assemblies between Fire Areas (in Hours)

OCCUPANCY	R2		
R2	1		

FIRE RESISTANCE OF STRUCTURAL ELEMENTS:

TABLE 601 (IBC):

STRUCTURAL ELEMENTS	TYPE OF CONSTRUCTION	FIRE RATING FILE #
	5B UNPROTECTED	
1. PRIMARY STRUCTURAL FRAME:	1HR	UL #356
2. BEARING WALLS EXTERIOR INTERIOR	1HR 1HR	UL #356 UL # DES U327
3. NONBEARING WALLS & PARTITIONS: EXTERIOR INTERIOR	SEE TABLE 602	
4. NONBEARING WALLS & PARTITIONS: INTERIOR	0HR	GA FILE # WP 3514
5. FLOOR CONSTRUCTION AND SECONDARY MEMBERS	1HR	UL # L516
6. ROOF CONSTRUCTION AND SECONDARY MEMBERS	1HR	UL #571

Fire Resistant Rating Requirements for Exterior Walls

TABLE 602:

Fire Separation Distance = X (feet)	TYPE OF CONSTRUCTION	OCCUPANCY GROUP A, B, E, F-2, I, R, S-2, U
x < 5 (c)	5B	1
5 ≤ x <10	5B	1
10 ≤ x <30	5B	0
x ≥ 30	5B	0

Dwelling Unit Separations

Dwelling units must be separated from each other (horizontally and vertically) and the rest of the building by construction that provides at least a one half (1/2) hour FRR (780 CMR Sections 709.3 & 712.3). Corridors in Use Group R-2 are required to provide a 30 minute FRR per table 1018.1

Concealed Spaces

Fire-blocking and draft-stopping shall be installed in combustible concealed locations in accordance with 780 CMR 717.0 715.4 OPENINGS IN FIRE RATED WALL - 2HR RATED WALL REQUIRED 1-1/2 HR RATED DOOR

EGRESS

- Each unit consists of 2 independent means of egress
- Exit doors are 36" min.

PROJECT NAME

SUMMER ST.
RESIDENCE

PROJECT ADDRESS

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SOMERVILLE, MA

CLIENT

ED DOHERTY

ARCHITECT

KHALSA DESIGN INC.



17 IVALOO STREET, SUITE 400
SOMERVILLE, MA 02143
TELEPHONE 617-591-8682 FAX: 617-591-2086

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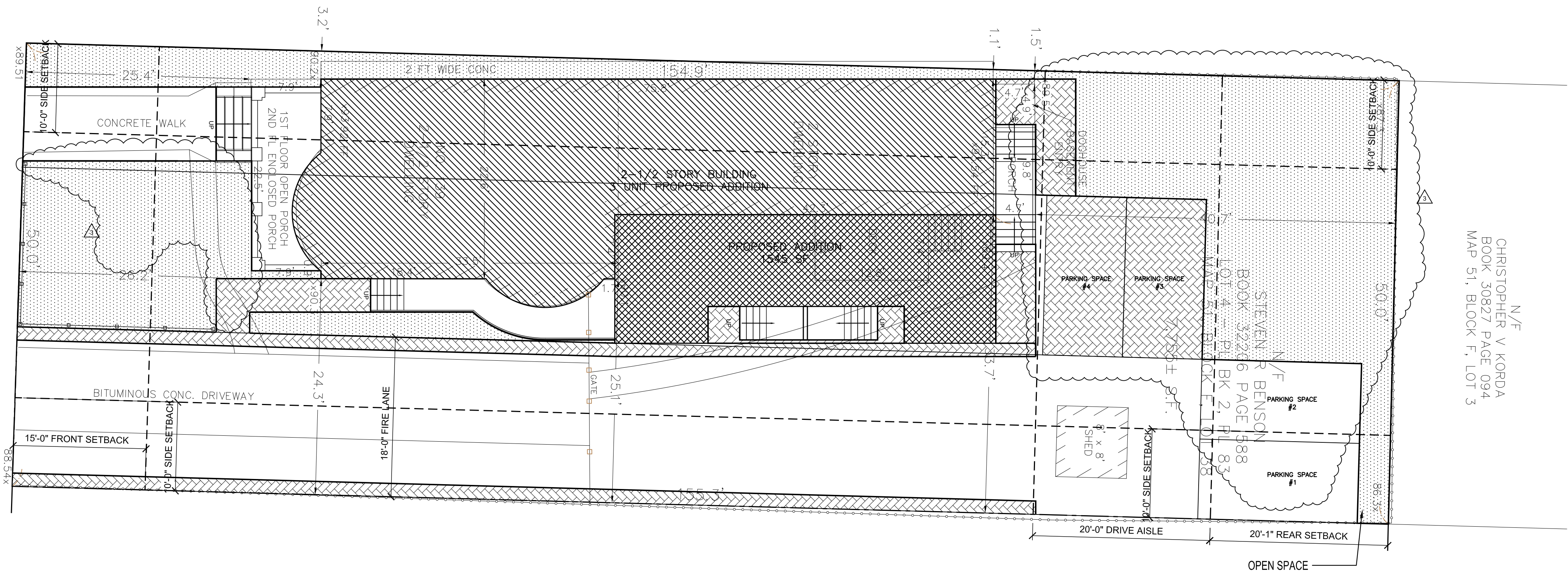
No.	Description	Date
2	GENERAL REVISIONS	12/08/2014
3	GENERAL REVISIONS	12/12/2014

CODE REVIEW &
EGRESS PLANS

A-002

14032_139 SUMMER ST

SUMMER STREET
(PUBLIC - 45' WIDE)



N/F
CLAUDINE L. OLESON
BOOK 12498 PAGE 335
MAP 51, BLOCK F, LOT 37

N/F
ROBERT P. & DEBRA MCEVOY
BOOK 59355 PAGE 220
MAP 51, BLOCK F, LOT 4



4.4.1. Alteration, Reconstruction, Extension, or Structural Change to a Nonconforming Structure.

Note—§ 4.4.1 was retitled by Ordinance 1991-1 on January 10, 1991.

As provided in M.G.L. c.40A, § 6, as amended, the alteration, reconstruction, extension or structural change to a nonconforming single or two-family residential structure shall not be considered an increase in the nonconforming nature of the structure and shall be permitted as a matter of right upon a determination by the building inspector or the Zoning Administrator under the following circumstances:

- (i) Alteration, reconstruction, extension, or structural change to a one- or two-family structure that complies with the dimensional requirements of the zoning ordinance in effect at the time of the application, but is located on a lot with insufficient area, and provided any such alteration, reconstruction, extension or structural change remains in compliance with all current dimensional requirements and does not increase the Gross Floor Area (GFA) of the dwelling by more than twenty-five percent (25%). For the purposes of this definition all percentages of increase shall be cumulative and calculated from square footages existing on the effective date of this ordinance.
- (ii) Alteration, reconstruction, extension or structural change to a nonconforming one- or two-family structure not affecting the nonconforming aspect of the one- or two-family structure and where the alteration, reconstruction, extension, or structural change will comply with all current dimensional requirements of the zoning ordinance, and provided any such alteration, reconstruction, extension or structural change does not increase the Gross Floor Area of the dwelling by more than twenty-five percent (25%). For the purposes of this definition all percentages of increase shall be cumulative and calculated from square footages existing on the effective date of this ordinance.

ZONING CHART			
RB ZONE	REQUIRED	EXISTING	PROPOSED
MIN. LOT SIZE	7500 SF	7755 SF	
LOT AREA/DU	1500 SF/DU±5.17	20U @ 3877.5 SF	3 DU / 5 DU ALLOWED
FAR	1 7755 SF	3283 SF	43 5915 SF
LANDSCAPE AREA	25% 1938.75 SF	81% 4787 SF	25% 1966 SF
MAX HEIGHT	3 ST/40'-0"	2.5 ST/30'-0"	30'-0"
FRONT SETBACK	15'-0"	25.4'	15'-0"
LEFT SIDE SETBACK	10' SUM 20'	3ST VARIES, MIN 1.1'	+/- 18'
RIGHT SIDE SETBACK	10' SUM 20'	3ST VARIES, MIN 24.3'	+/- 18'
REAR SETBACK	20'-0"	VARIES, MIN 40.7'	20'-0"
FRONTAGE	50'-0"	50'-0"	50'-0"
PARKING	5	1	5
PERVIOUS AREA	35% 2714 SF	61% 4787 SF	> 35%
GFA	25% - 1568	6272 SF	1545 SF ADDITION

LEGEND	
	LANDSCAPE AREA
	PERVIOUS PAVERS

PROJECT NAME
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ED DOHERTY

ARCHITECT
KHALSA DESIGN INC.



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SOMERVILLE, MA 02143
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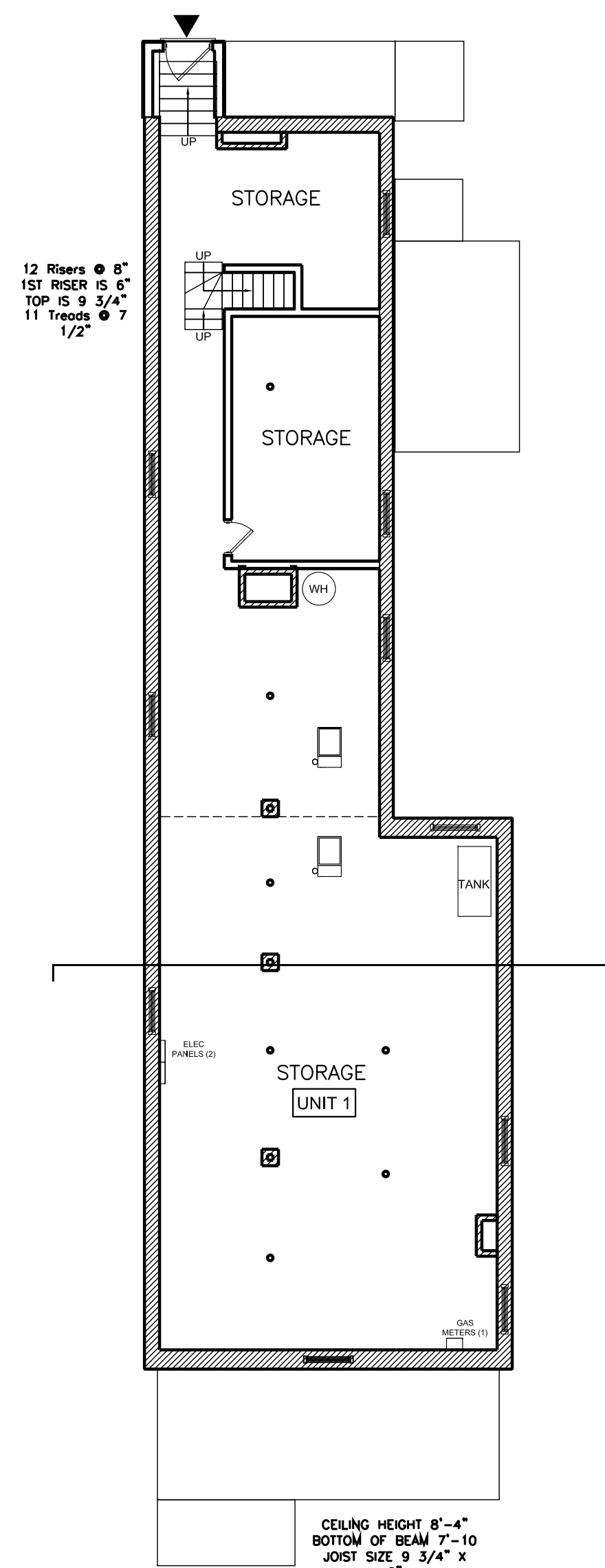
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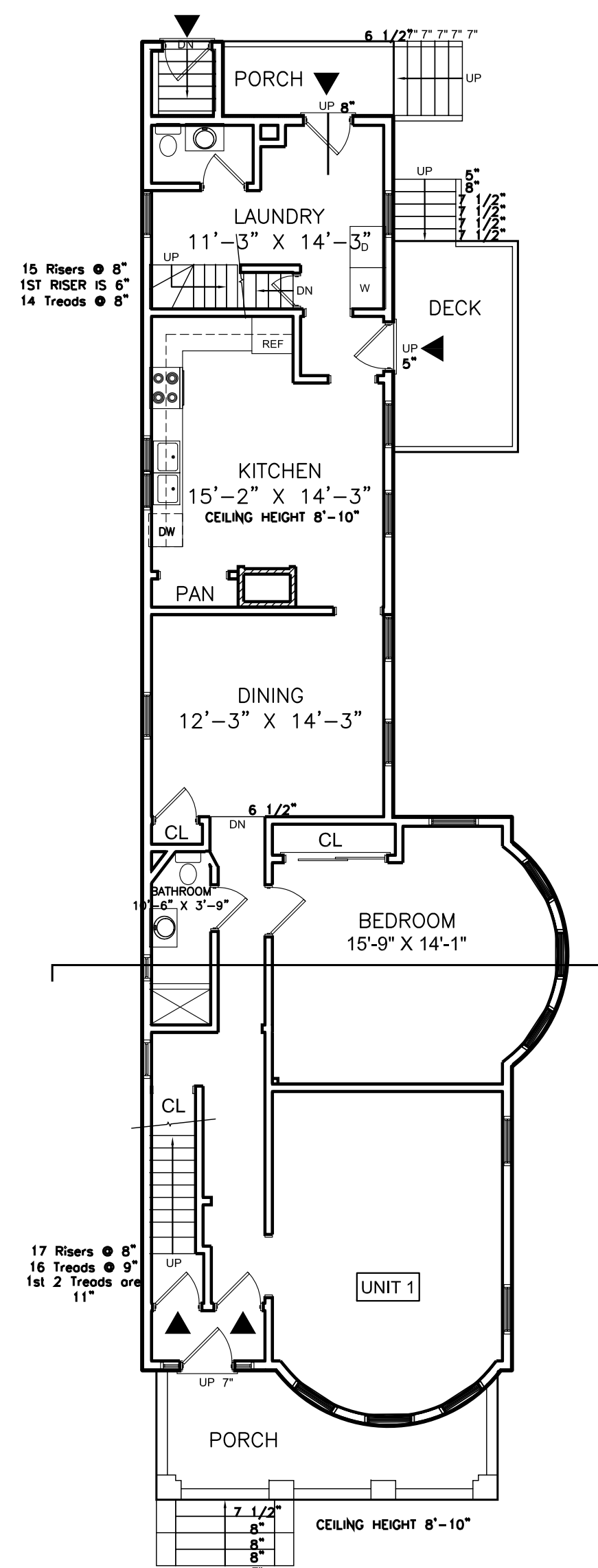
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A-010

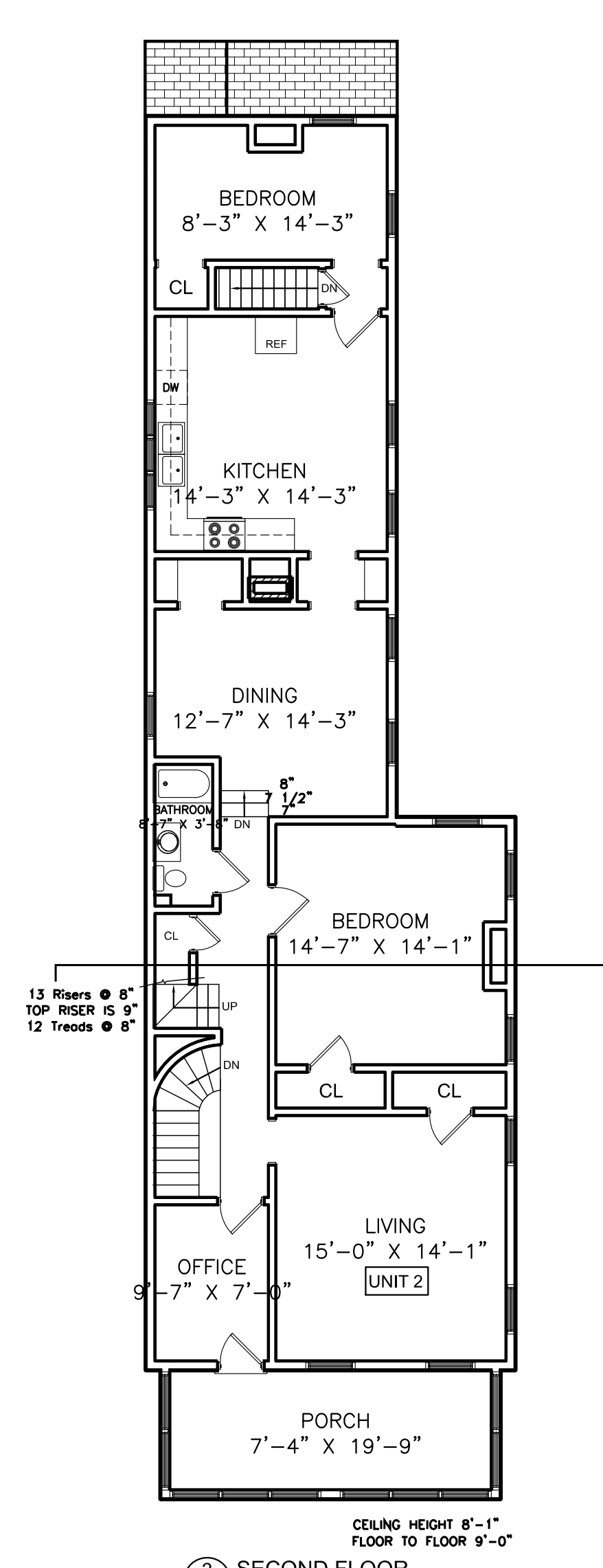
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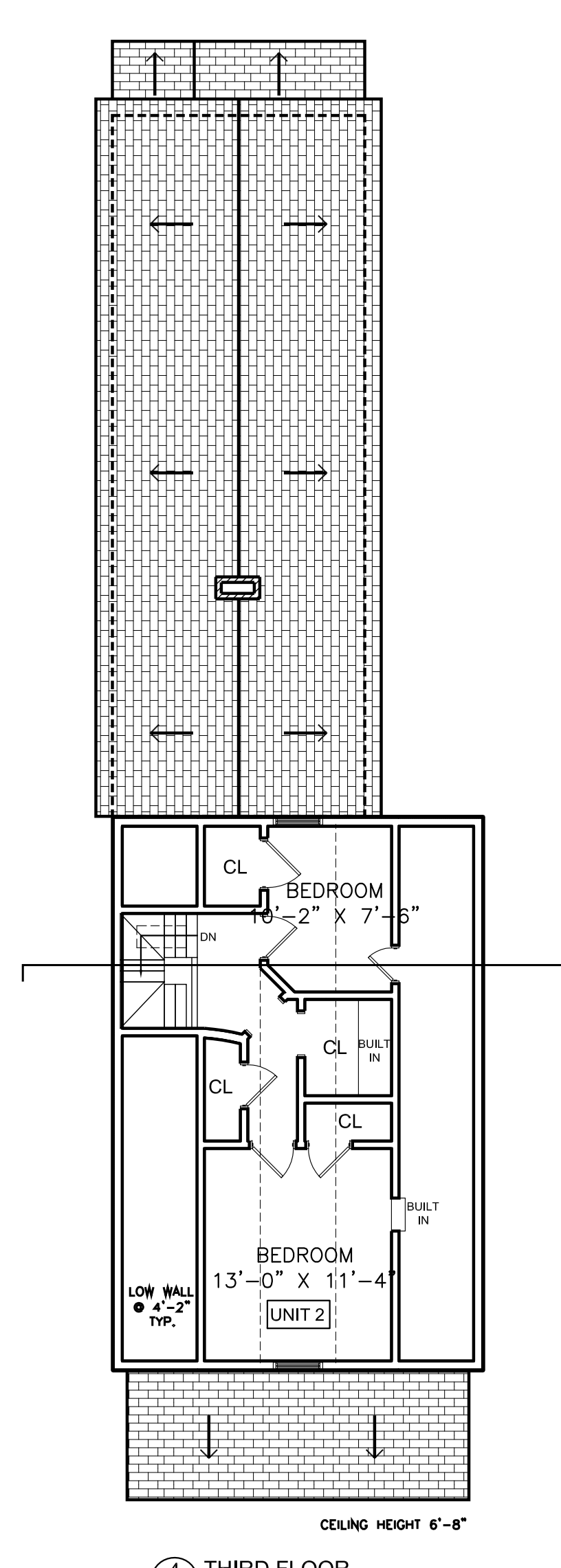
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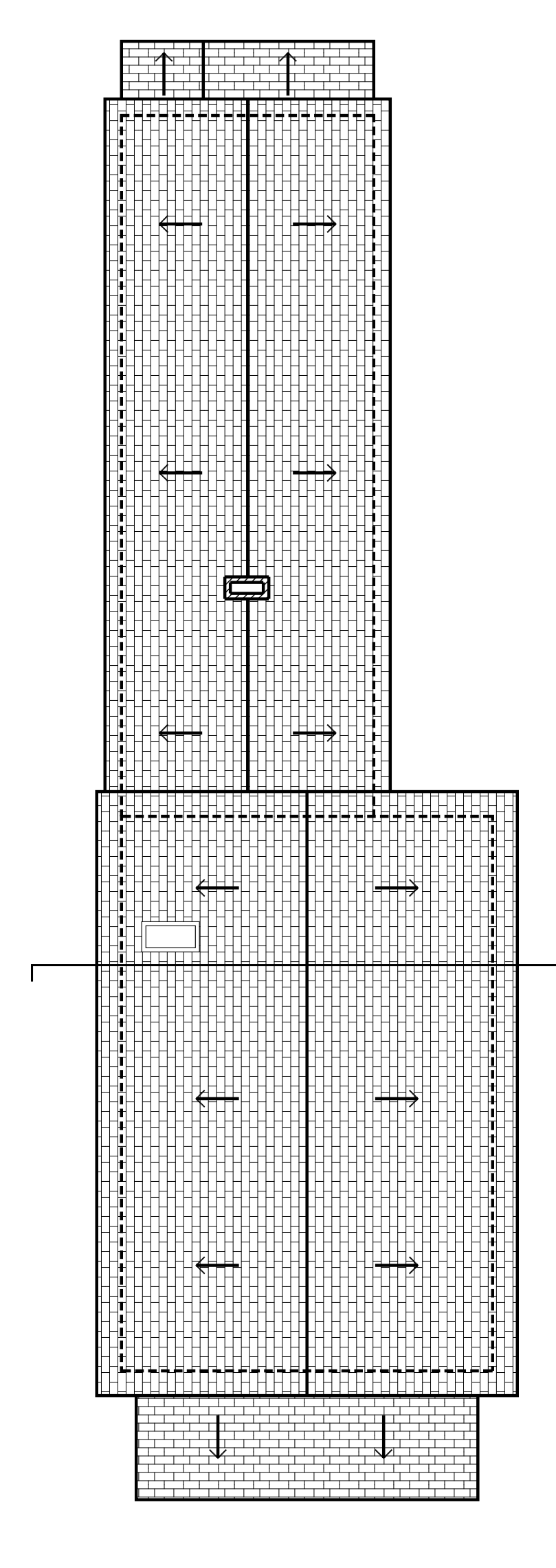
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3 SECOND FLOOR
Scale: 1/4" = 1'-0"



4 THIRD FLOOR
Scale: 1/4" = 1'-0"



5 ROOF
Scale: 1/4" = 1'-0"

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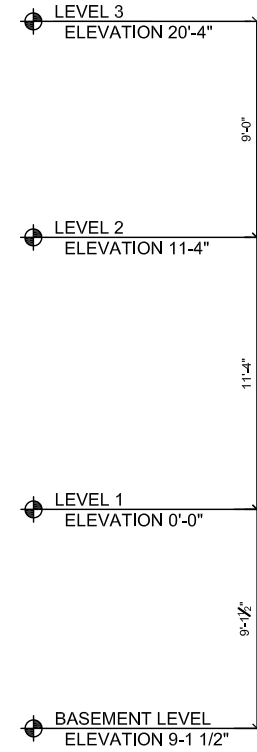
EXISTING FLOOR
PLANS

EX-100

14032 139 SUMMER ST



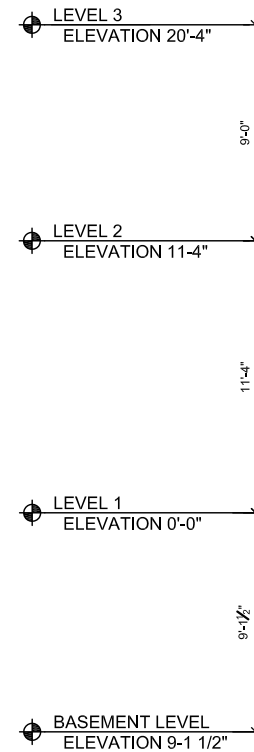
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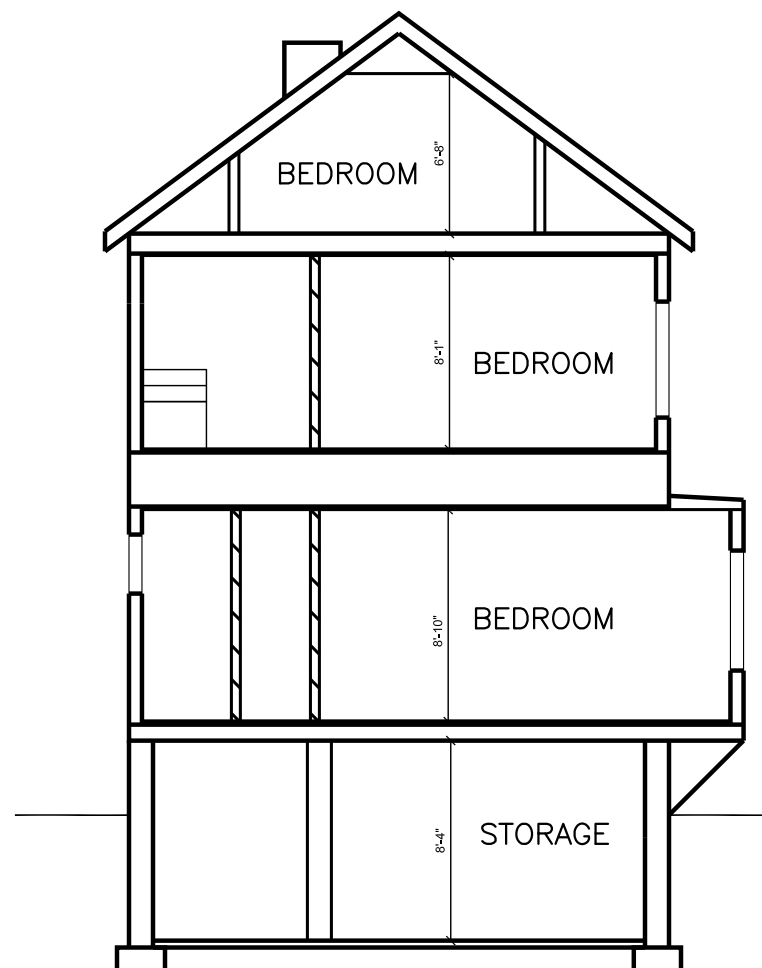
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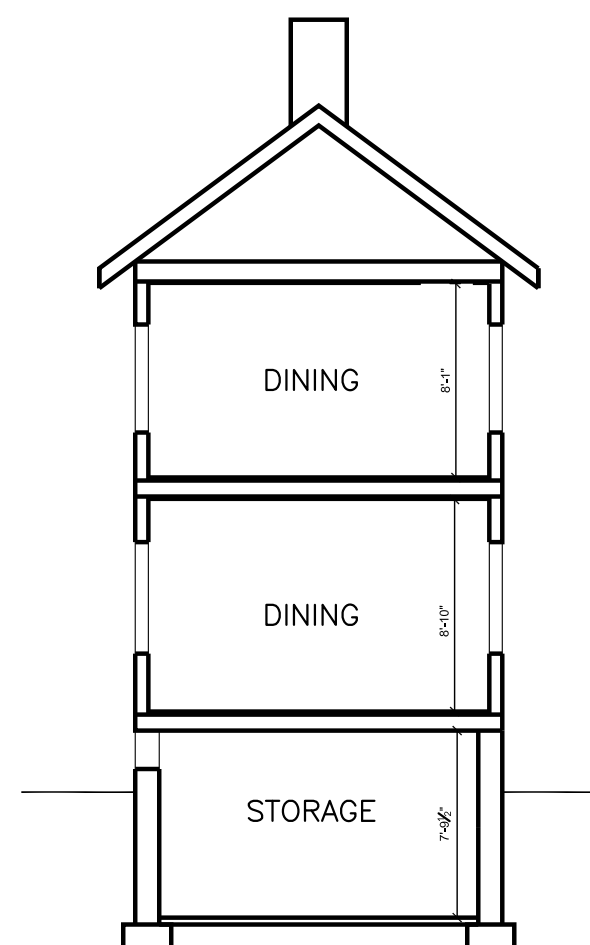
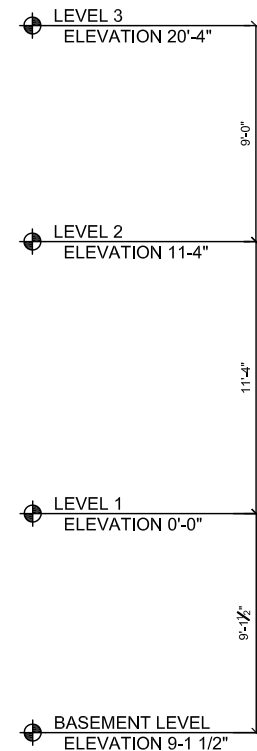
3 NORTH ELEVATION
A301 Scale: 1/8"=1'-0"



4 WEST ELEVATION
A301 Scale: 1/8"=1'-0"



1 SECTION
A401 Scale: 1/8"=1'-0"



2 SECTION
A401 Scale: 1/8"=1'-0"

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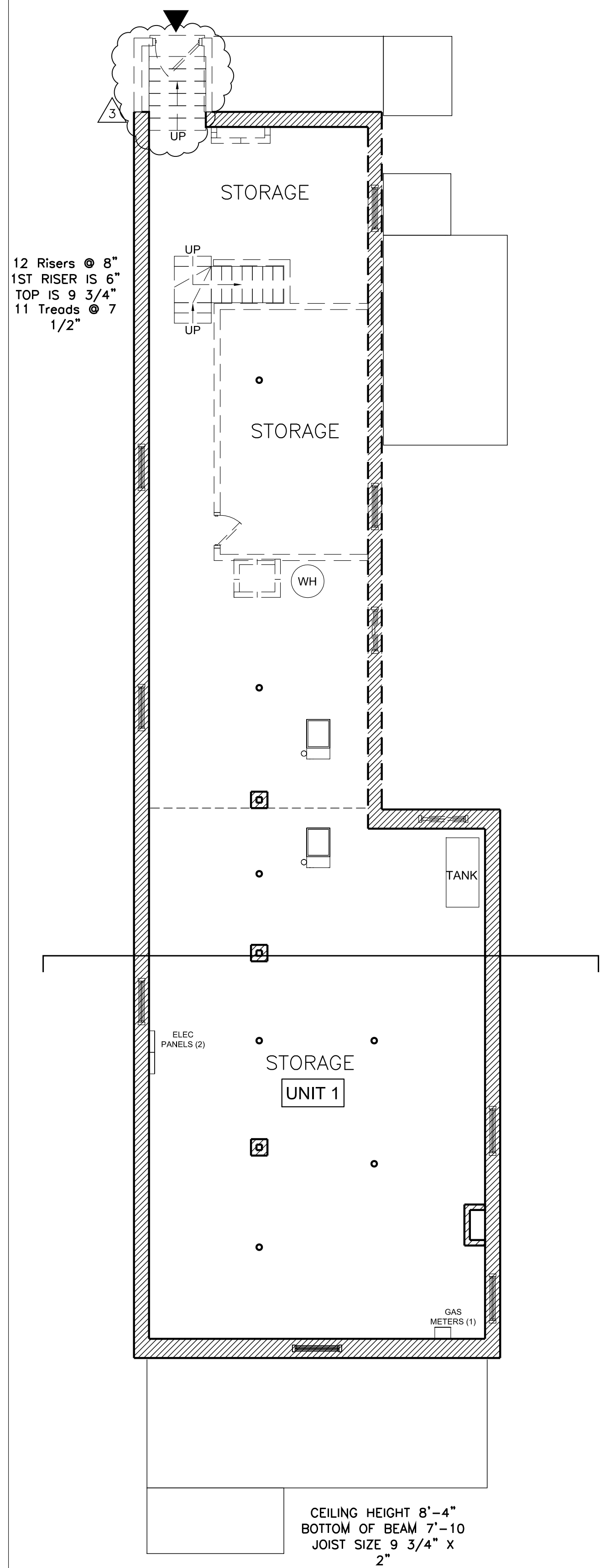
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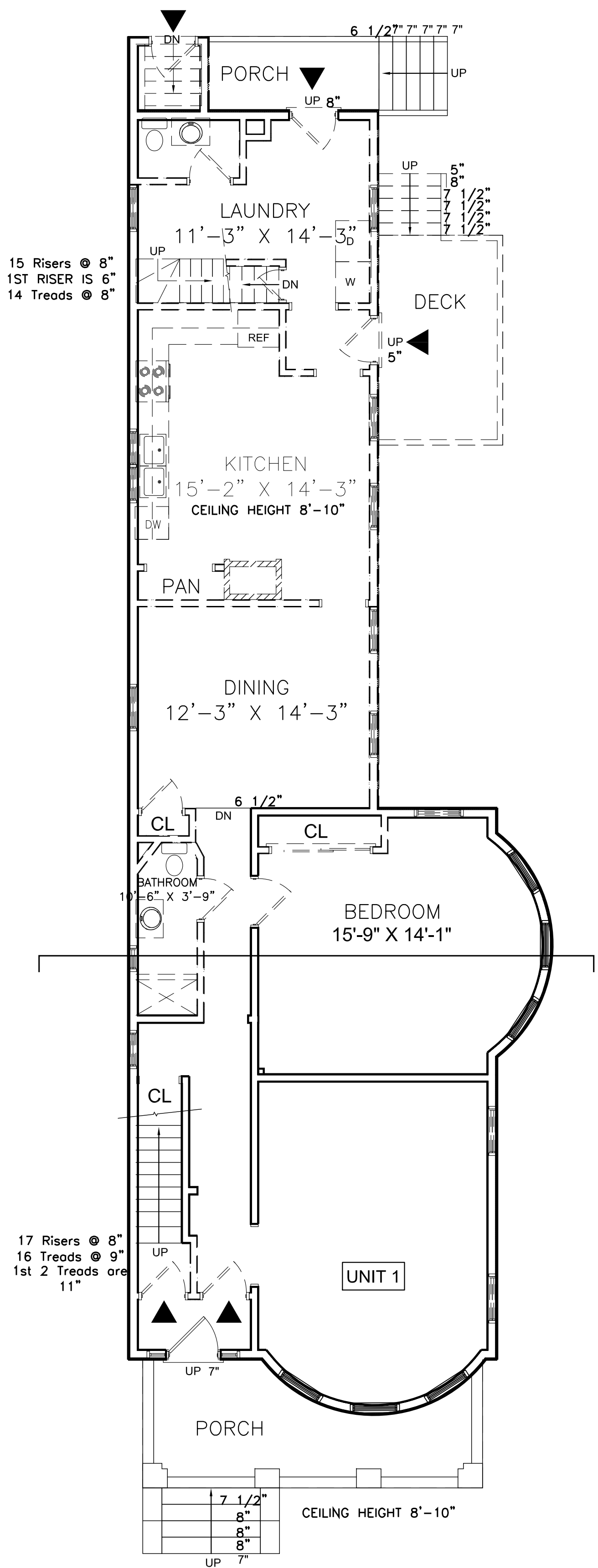
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BUILDING SECTION

EX-300

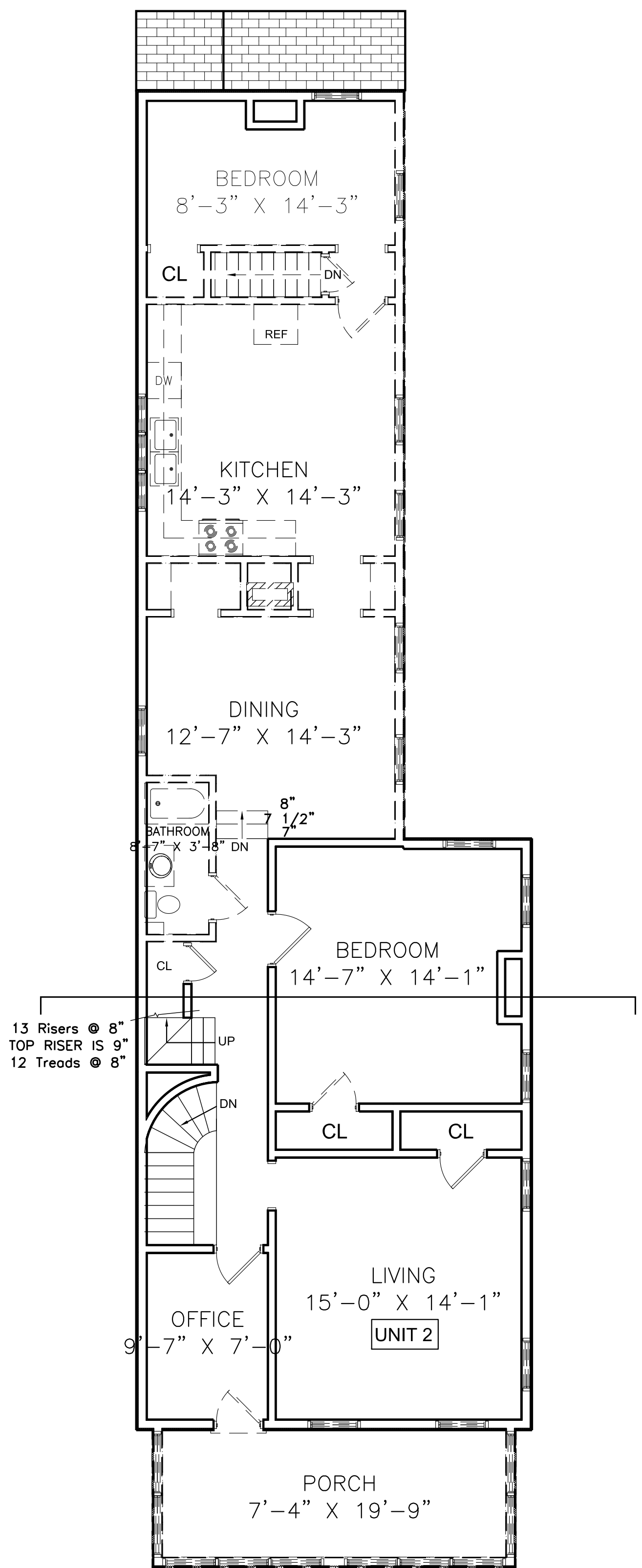
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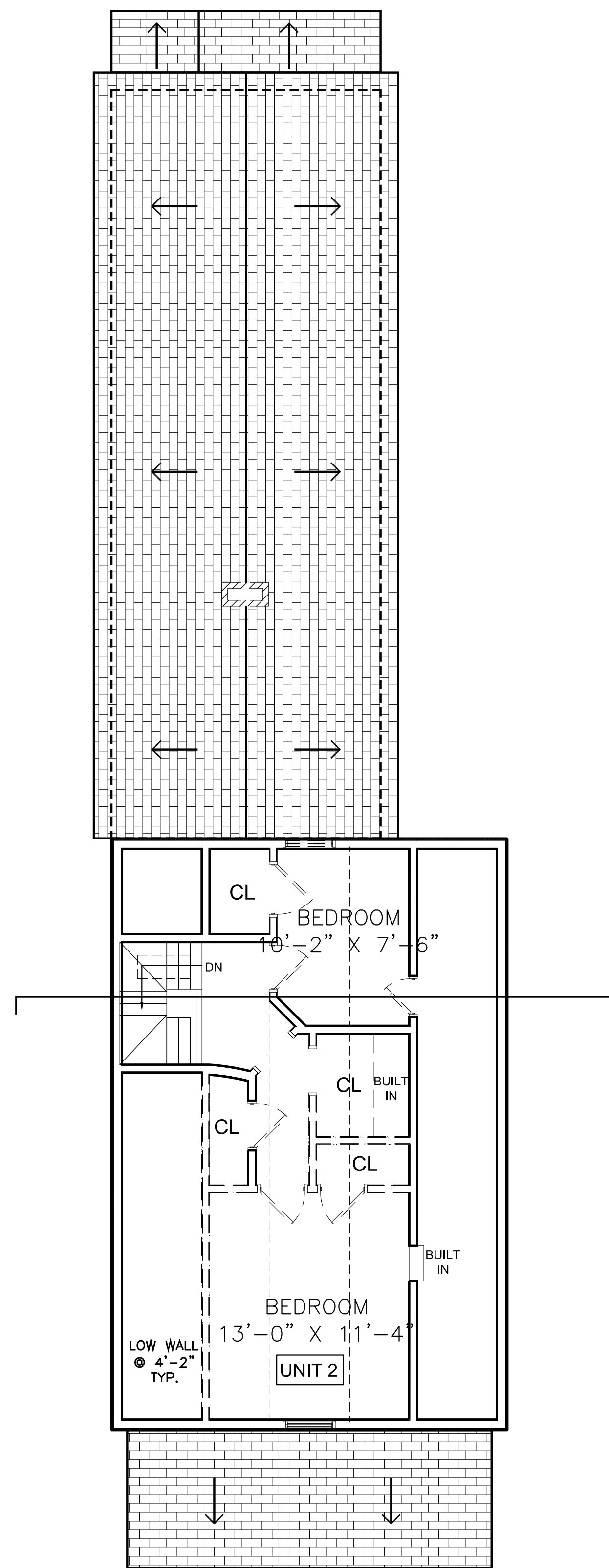
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2 FIRST FLOOR
Scale: 1/4"=1'-0"



3 SECOND FLOOR
Scale: 1/4"=1'-0"



4 THIRD FLOOR
Scale: 1/4"=1'-0"

LEGEND
--- DEMO

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DEMOLITION PLANS

AD-100

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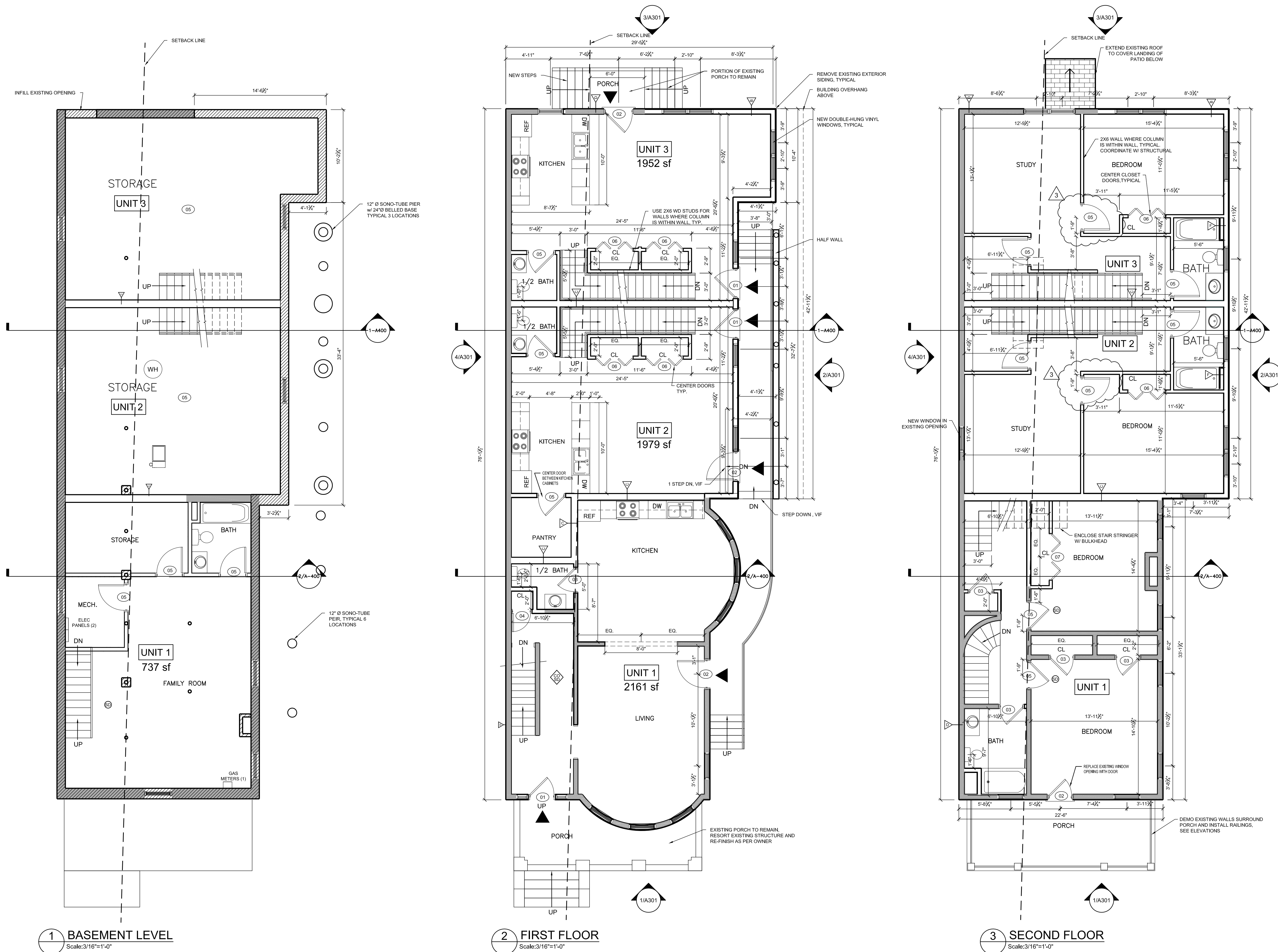
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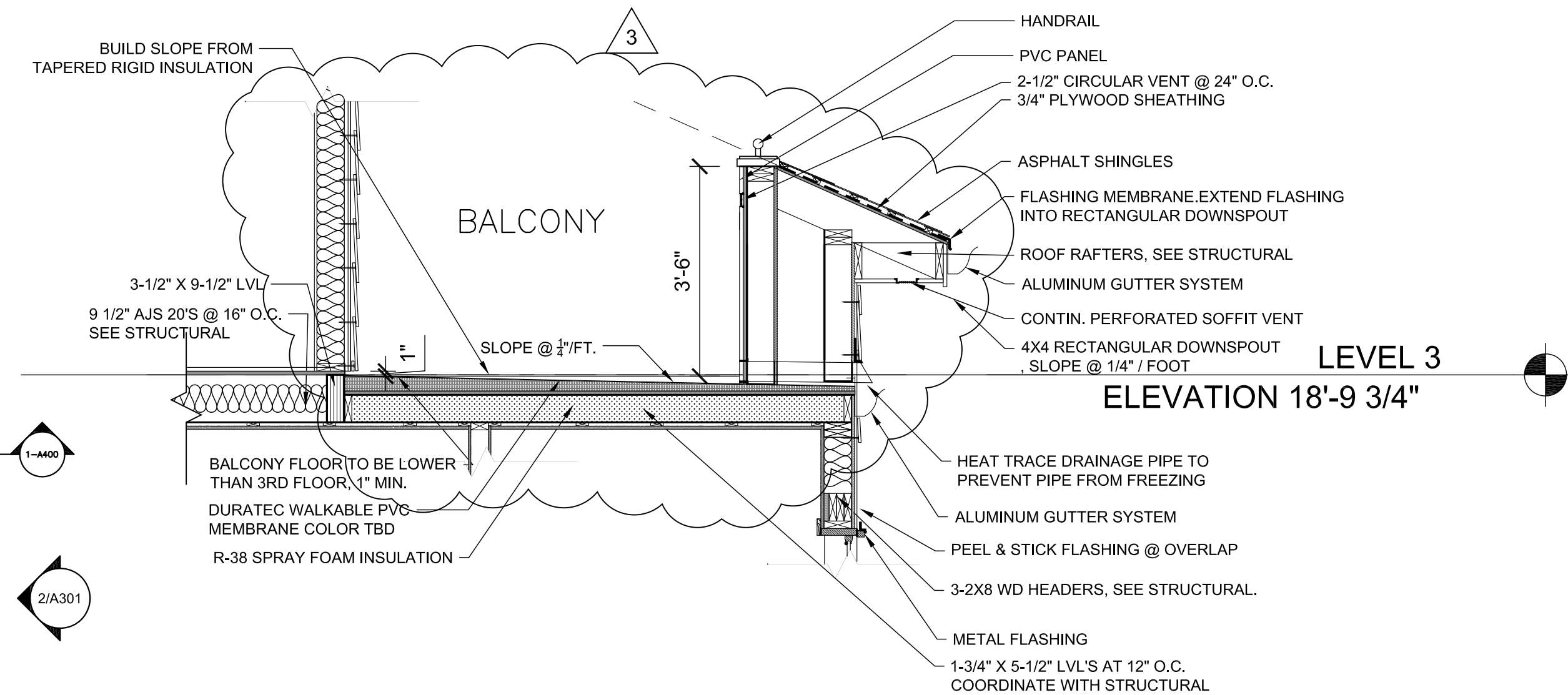
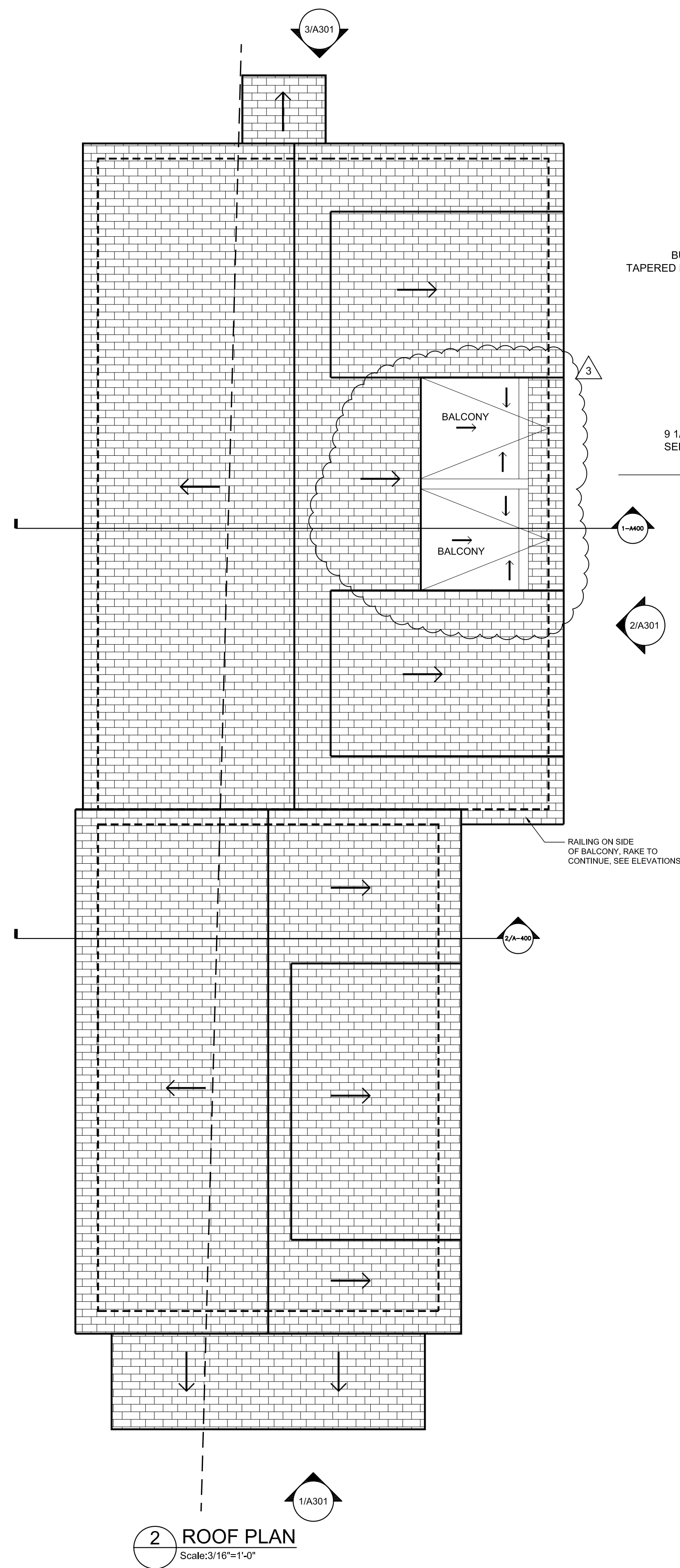
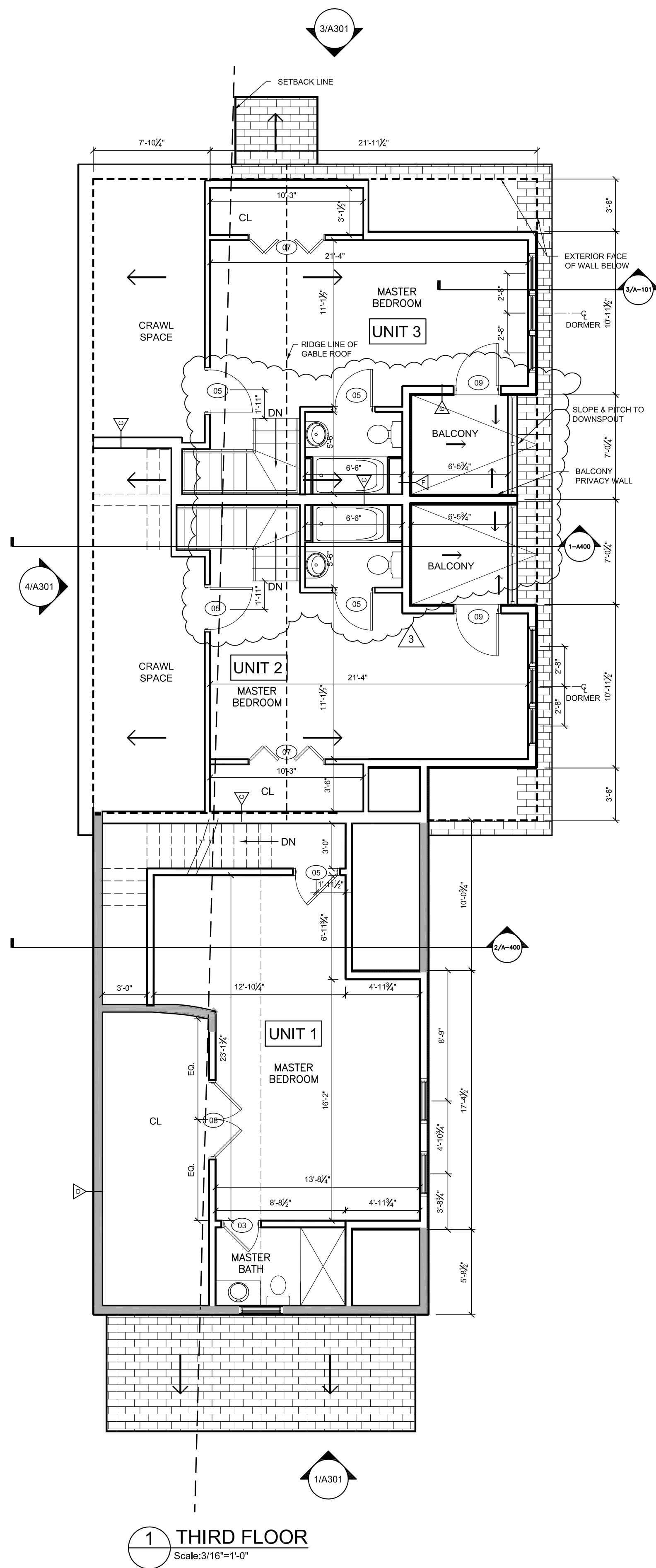
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PROPOSED FLOOR & ROOF PLANS

A-100

14032 139 SUMMER ST





PROJECT NAME
**SUMMER ST.
RESIDENCE**

PROJECT ADDRESS
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ARCHITECT
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SOMERVILLE, MA 02143
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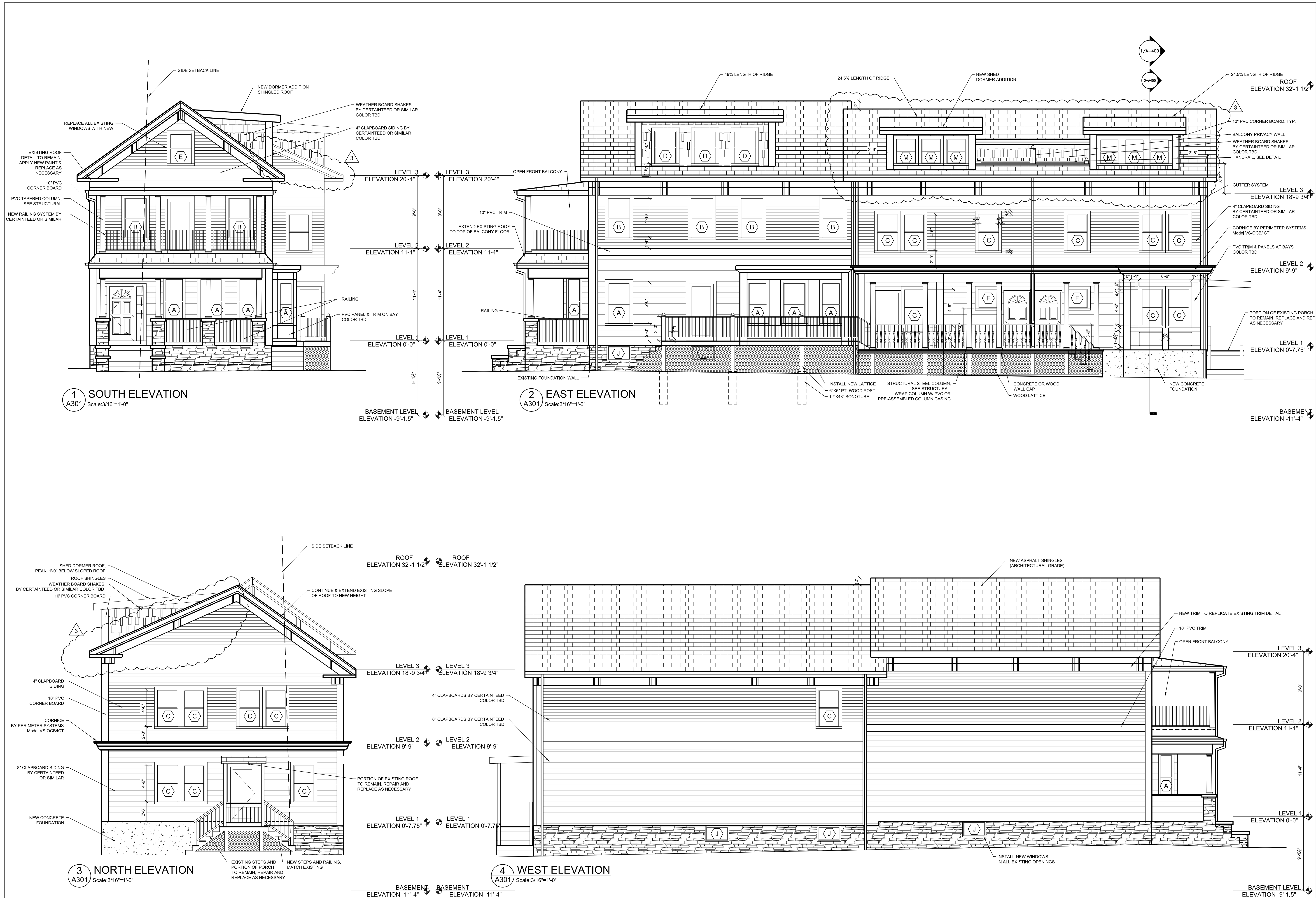
REVISIONS

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2	GENERAL REVISIONS	12/08/2014
3	GENERAL REVISIONS	12/12/2014

PROPOSED FLOOR &
ROOF PLANS

A-101

14032_139 SUMMER ST



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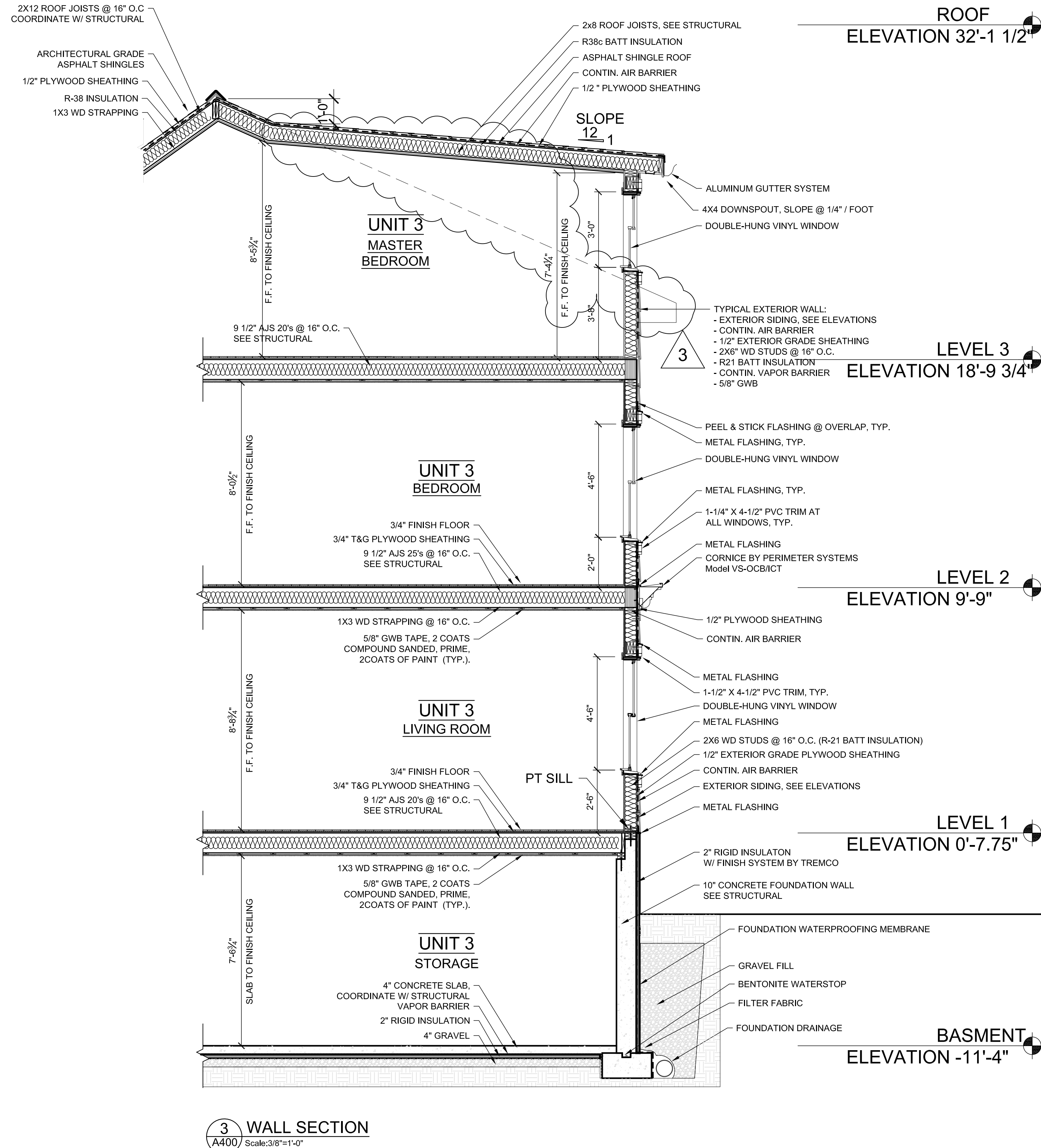
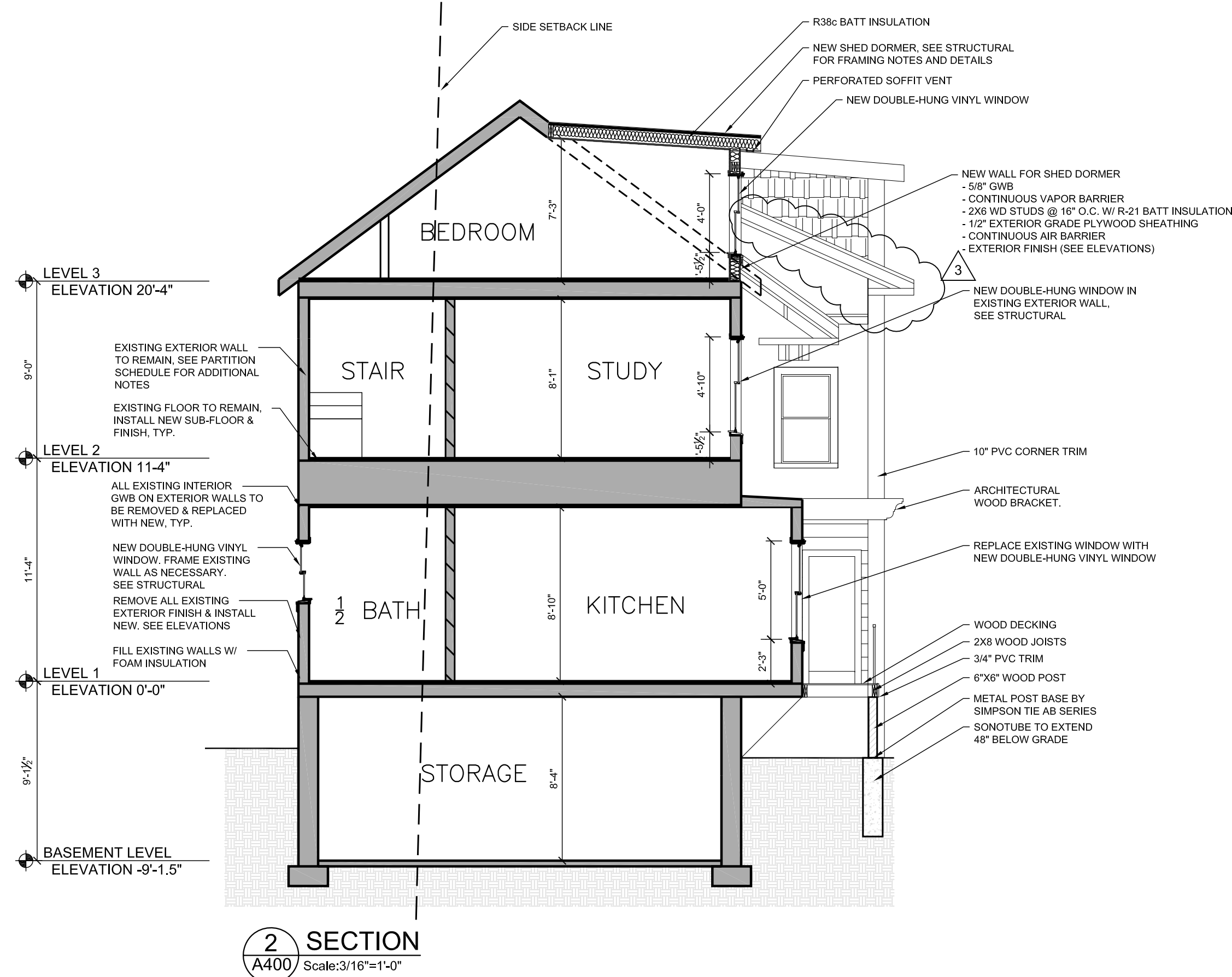
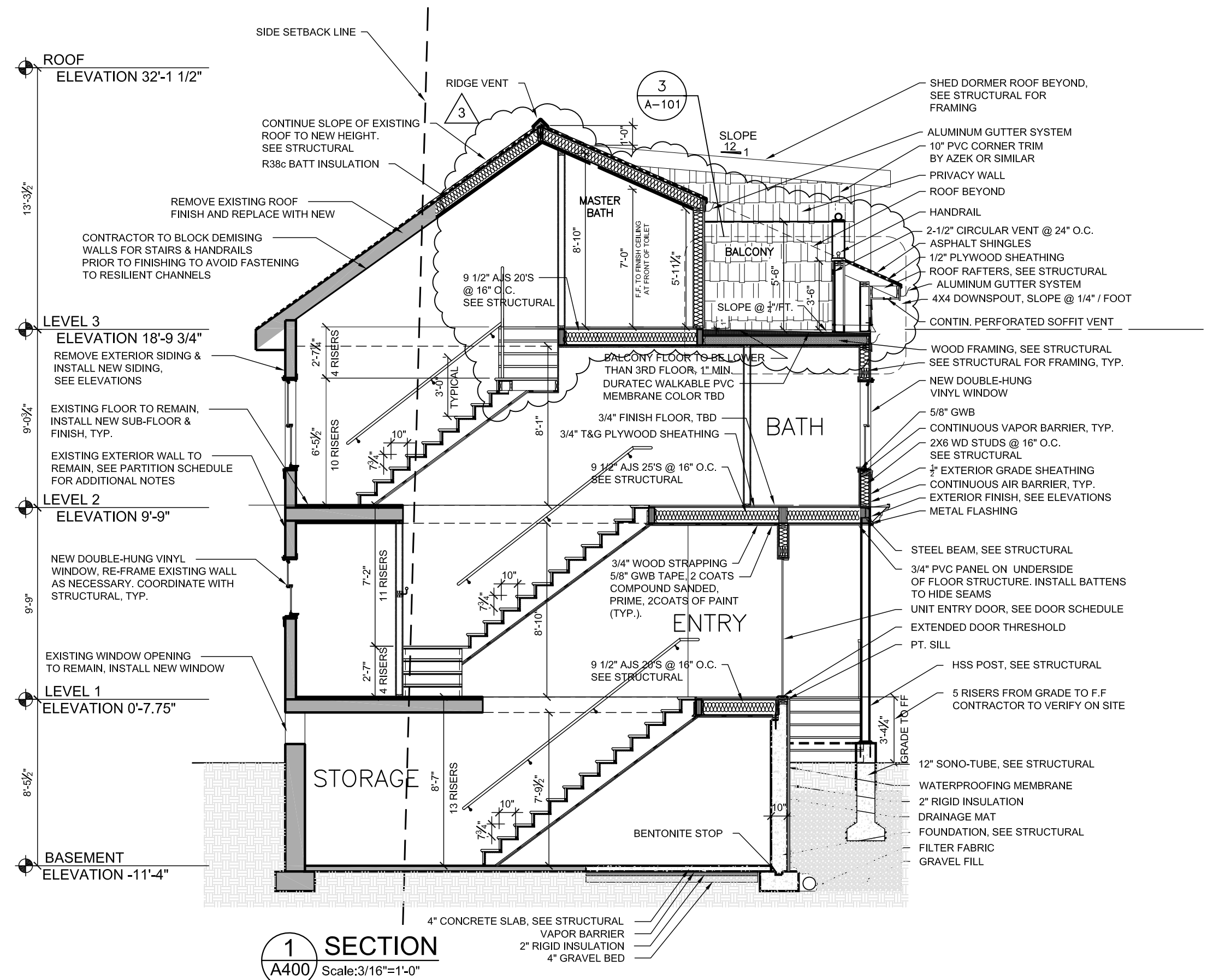
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3	GENERAL REVISIONS	12/12/2014

PROPOSED ELEVATIONS

A-300

14032_139 SUMMER ST



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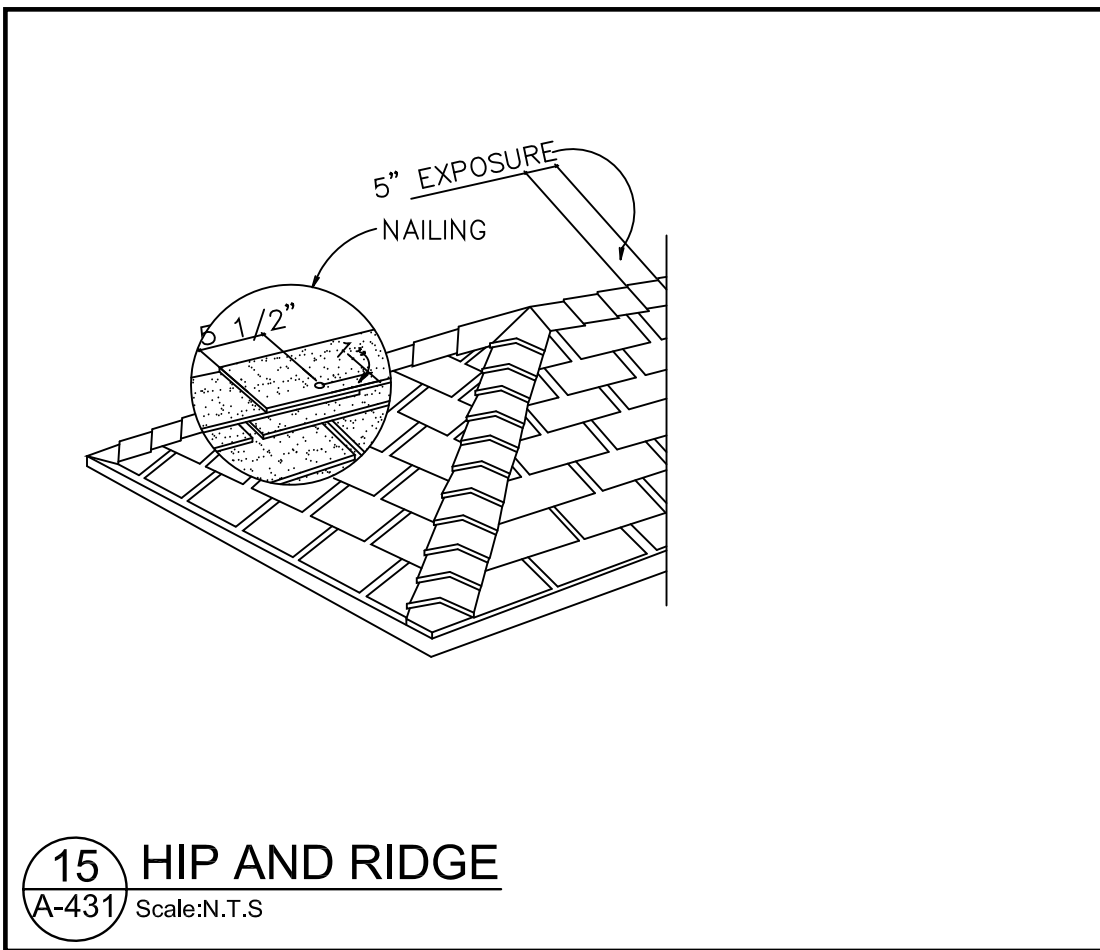
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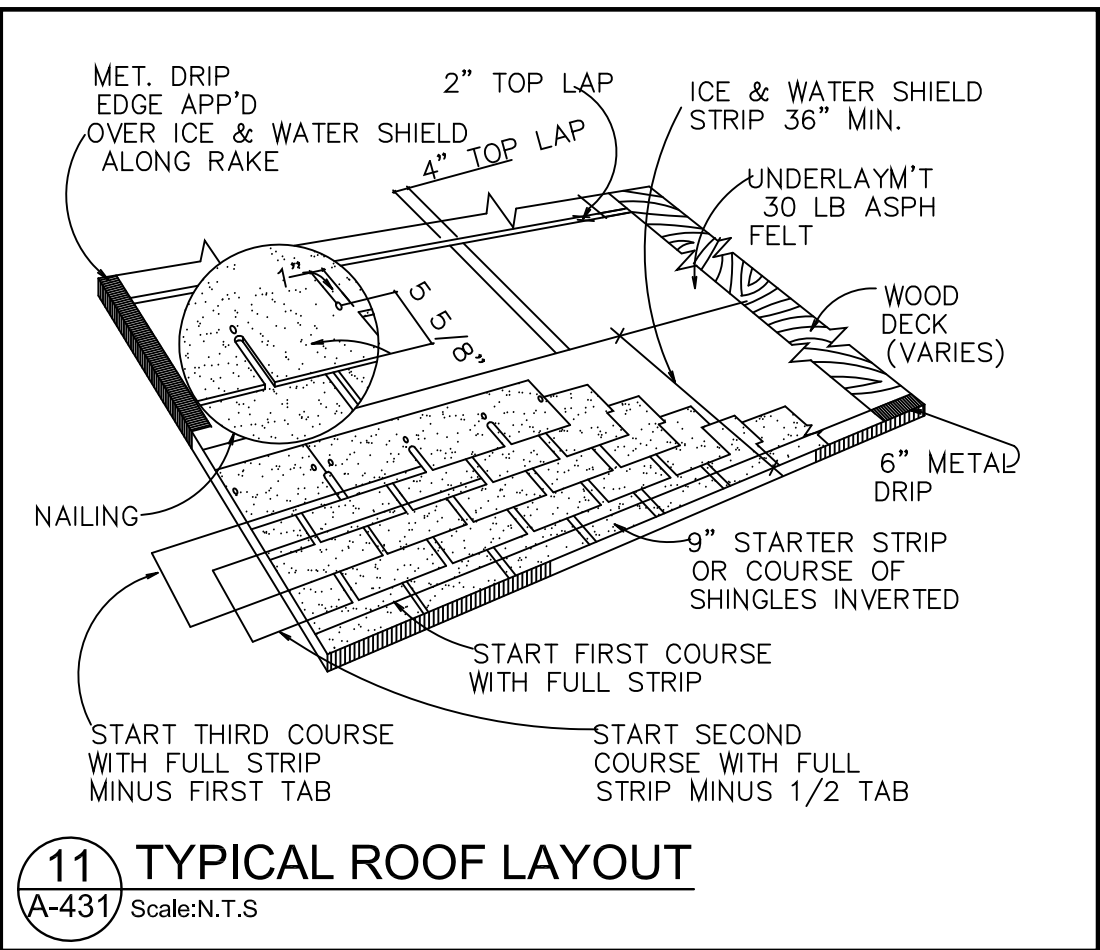
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BUILDING & WALL SECTIONS

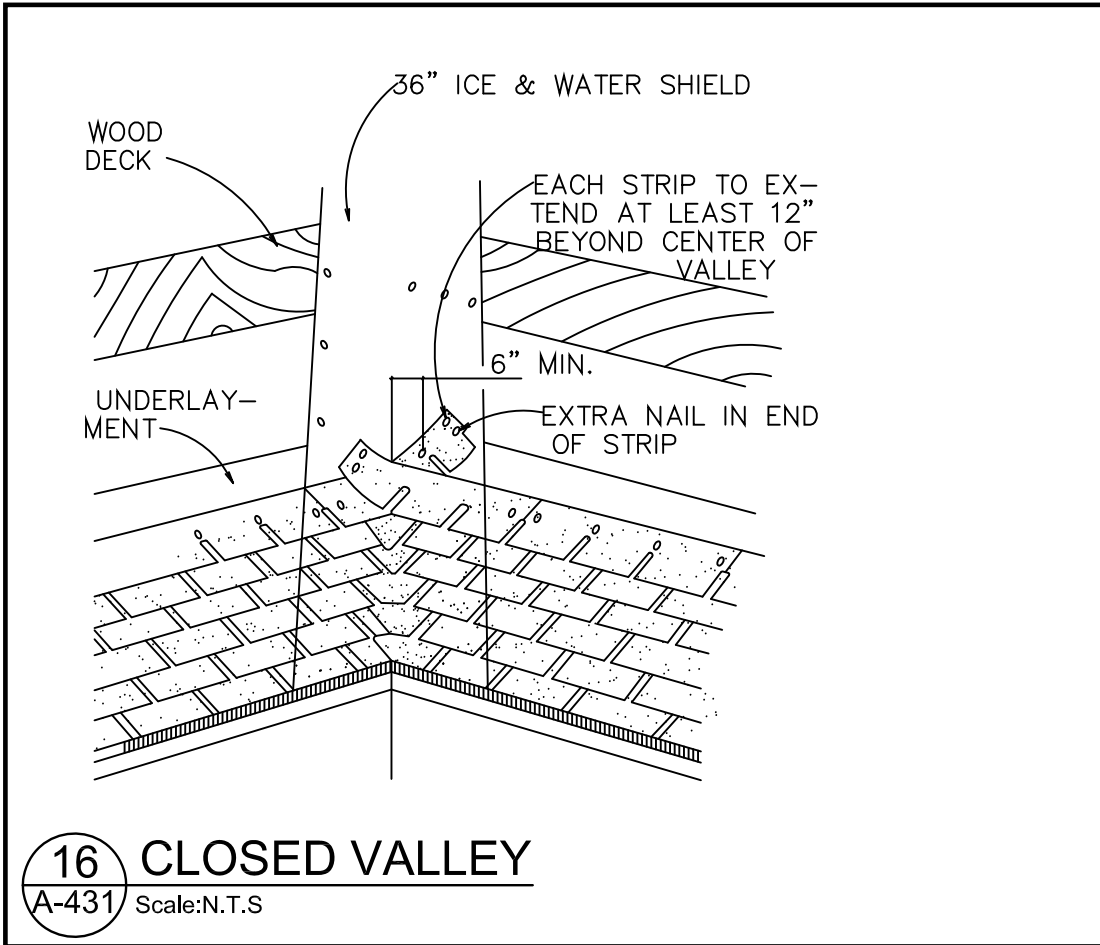
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14032_139 SUMMER ST



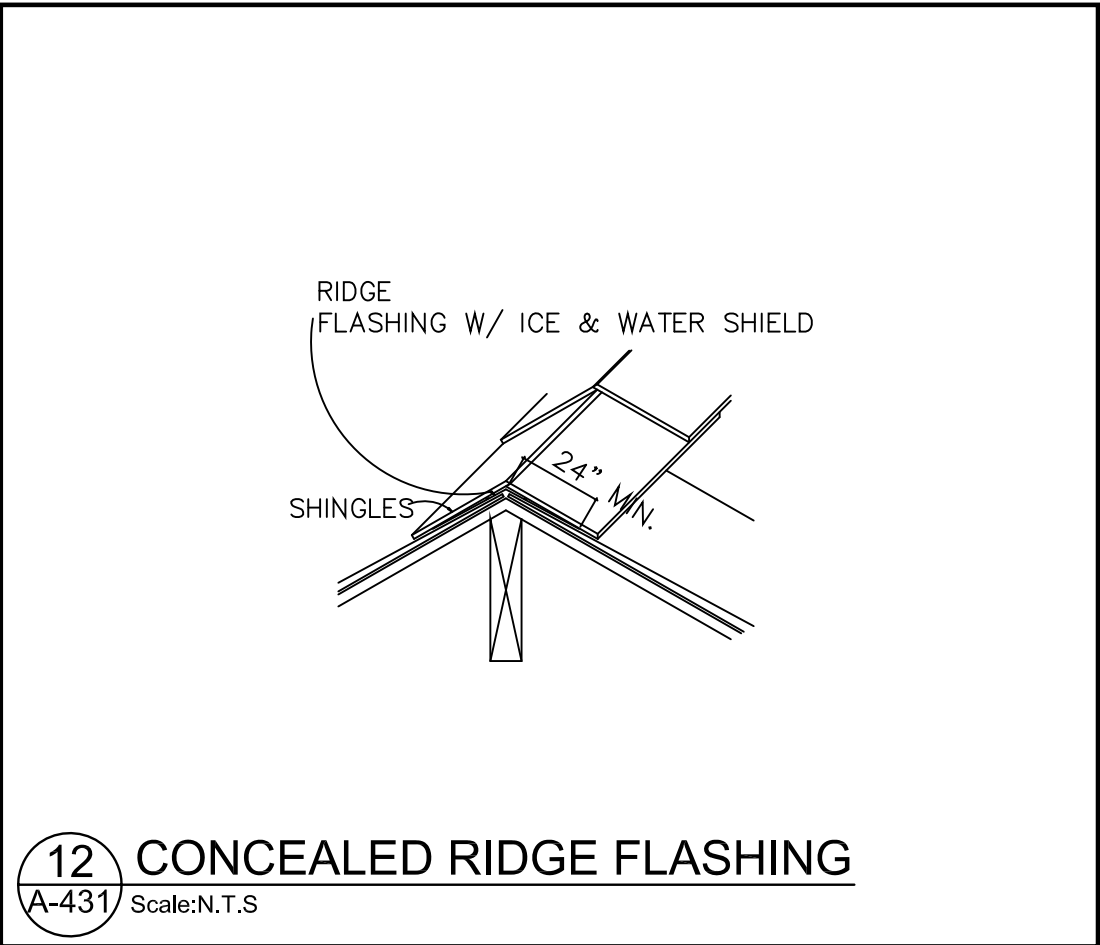
15 HIP AND RIDGE
A-431 Scale:N.T.S



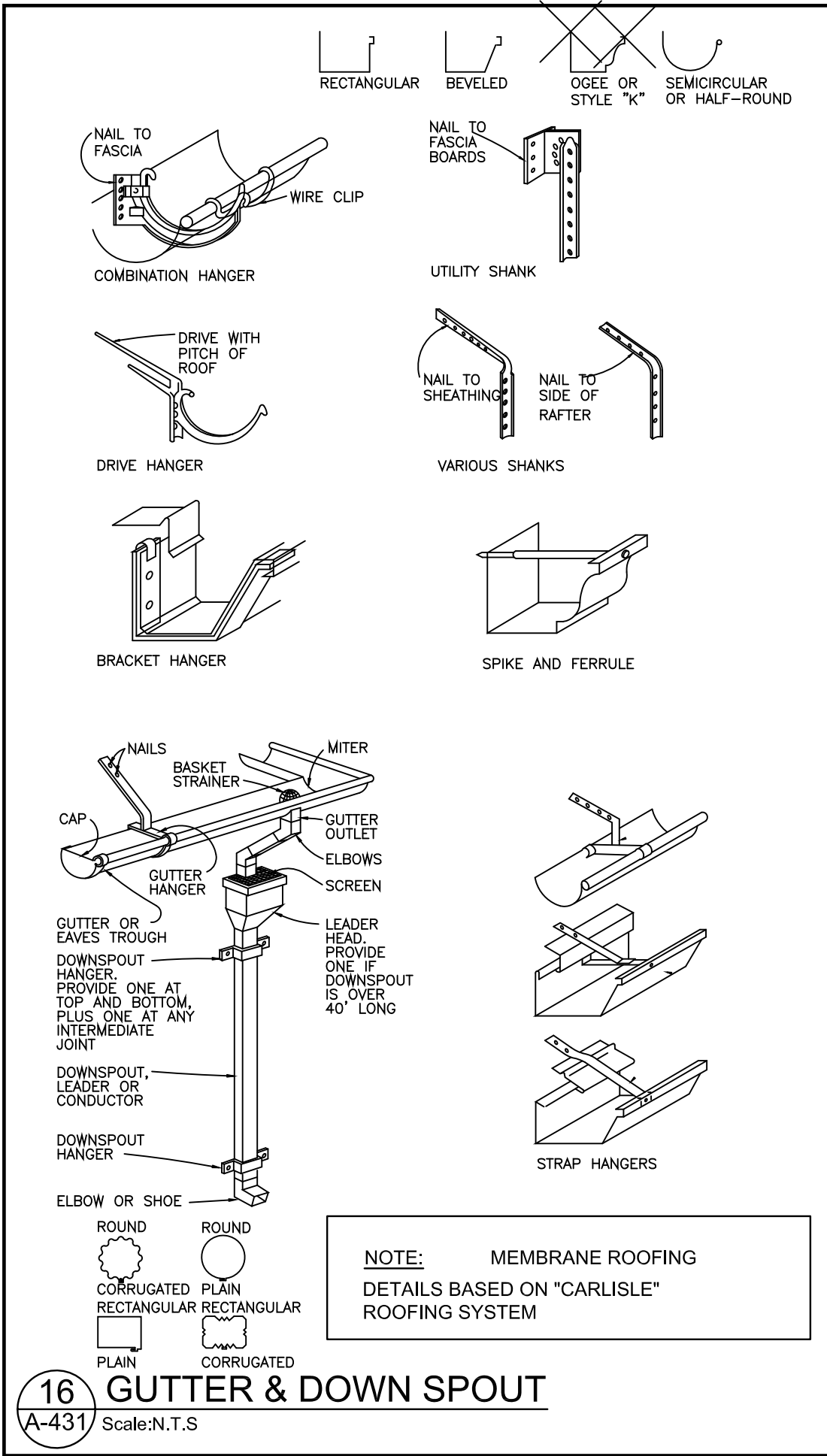
11 TYPICAL ROOF LAYOUT
A-431 Scale:N.T.S



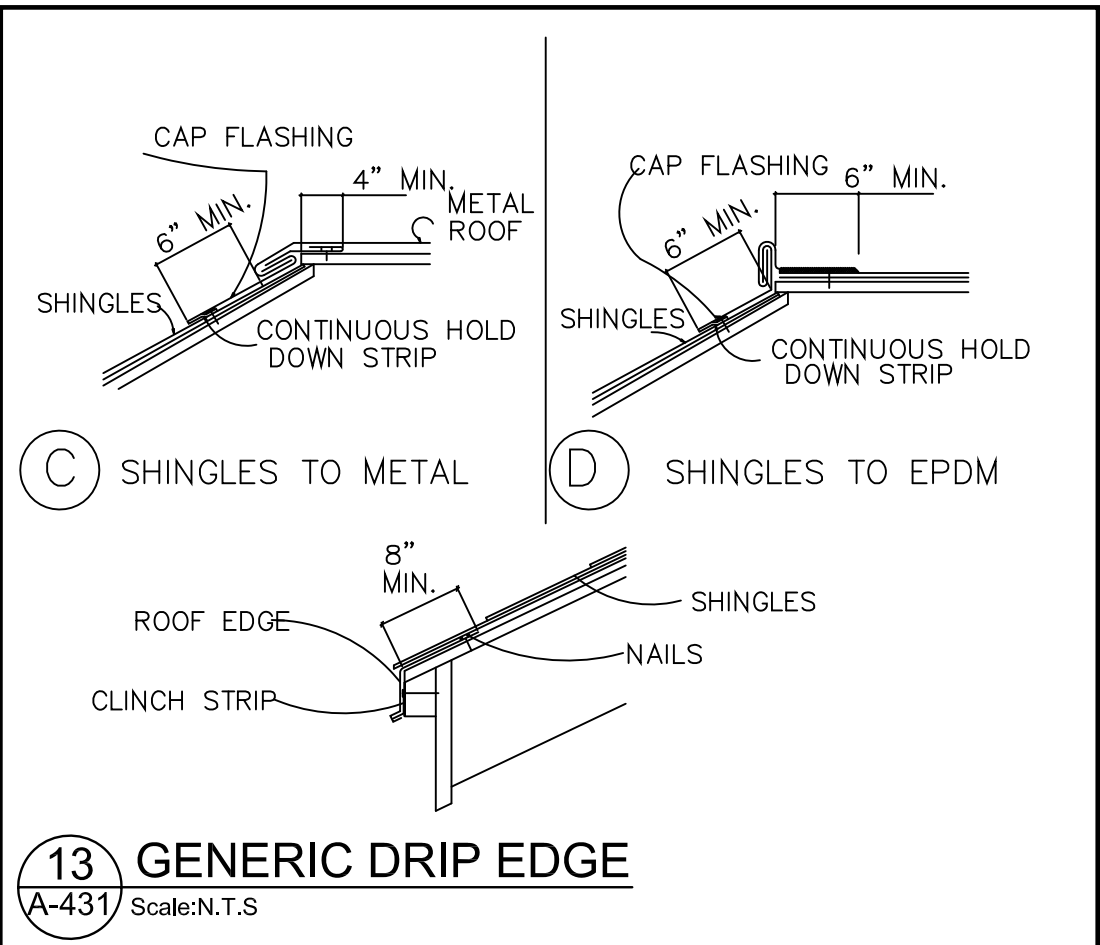
16 CLOSED VALLEY
A-431 Scale:N.T.S



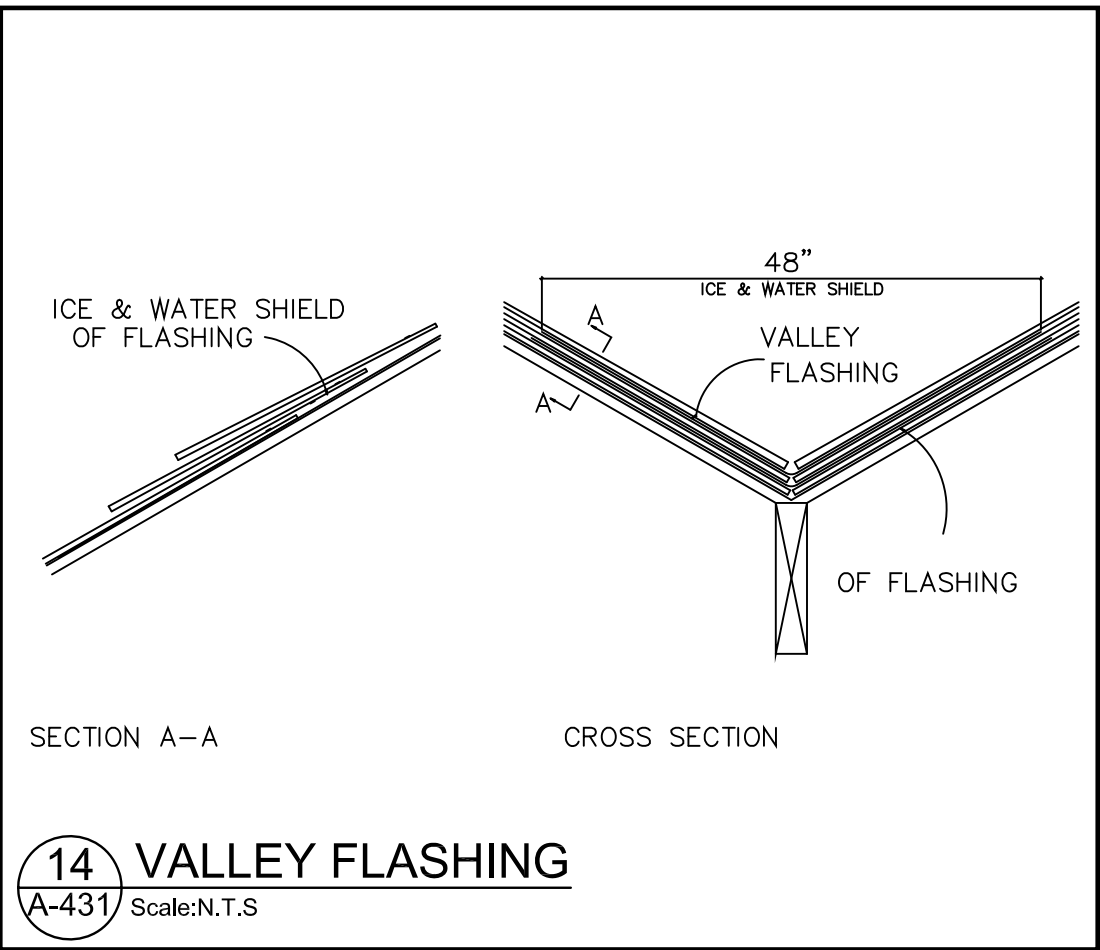
12 CONCEALED RIDGE FLASHING
A-431 Scale:N.T.S



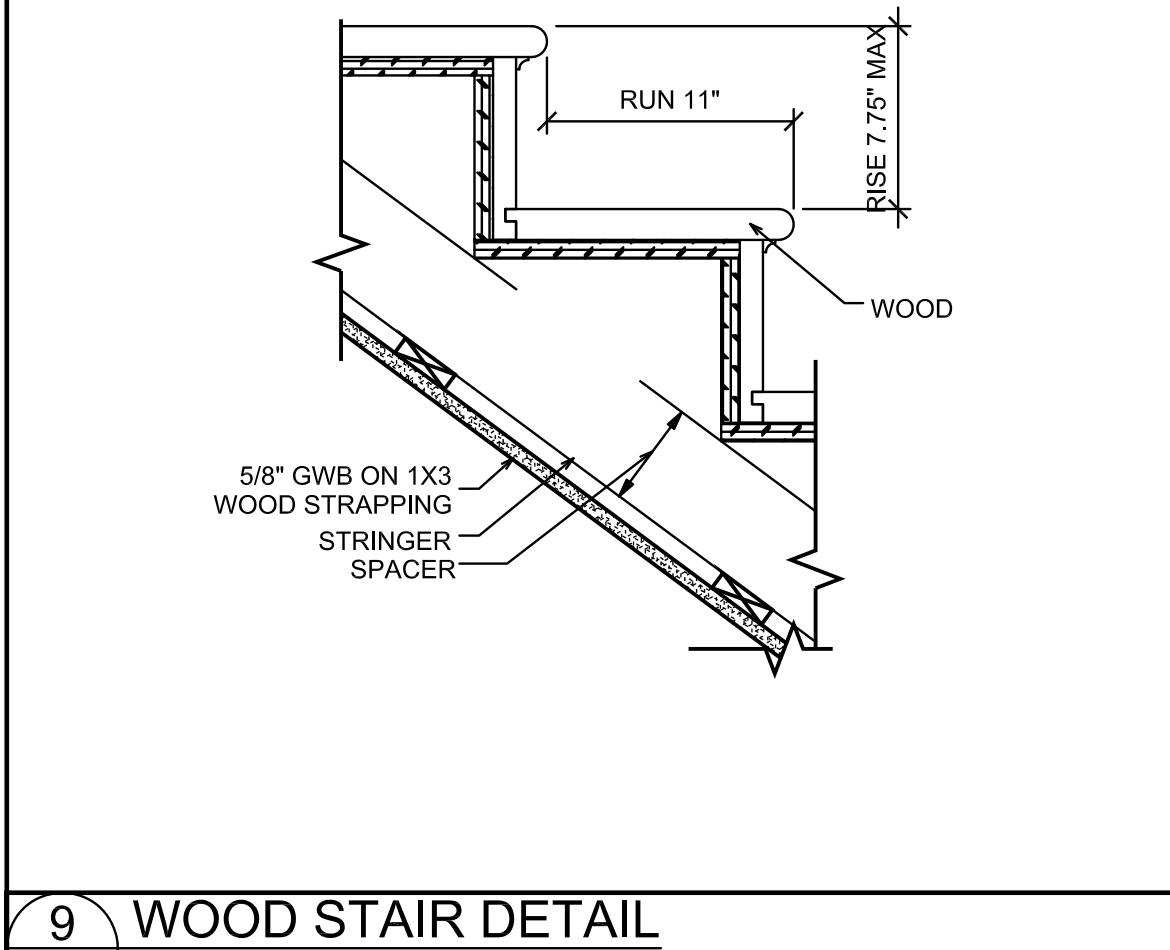
16 GUTTER & DOWN SPOUT
A-431 Scale:N.T.S



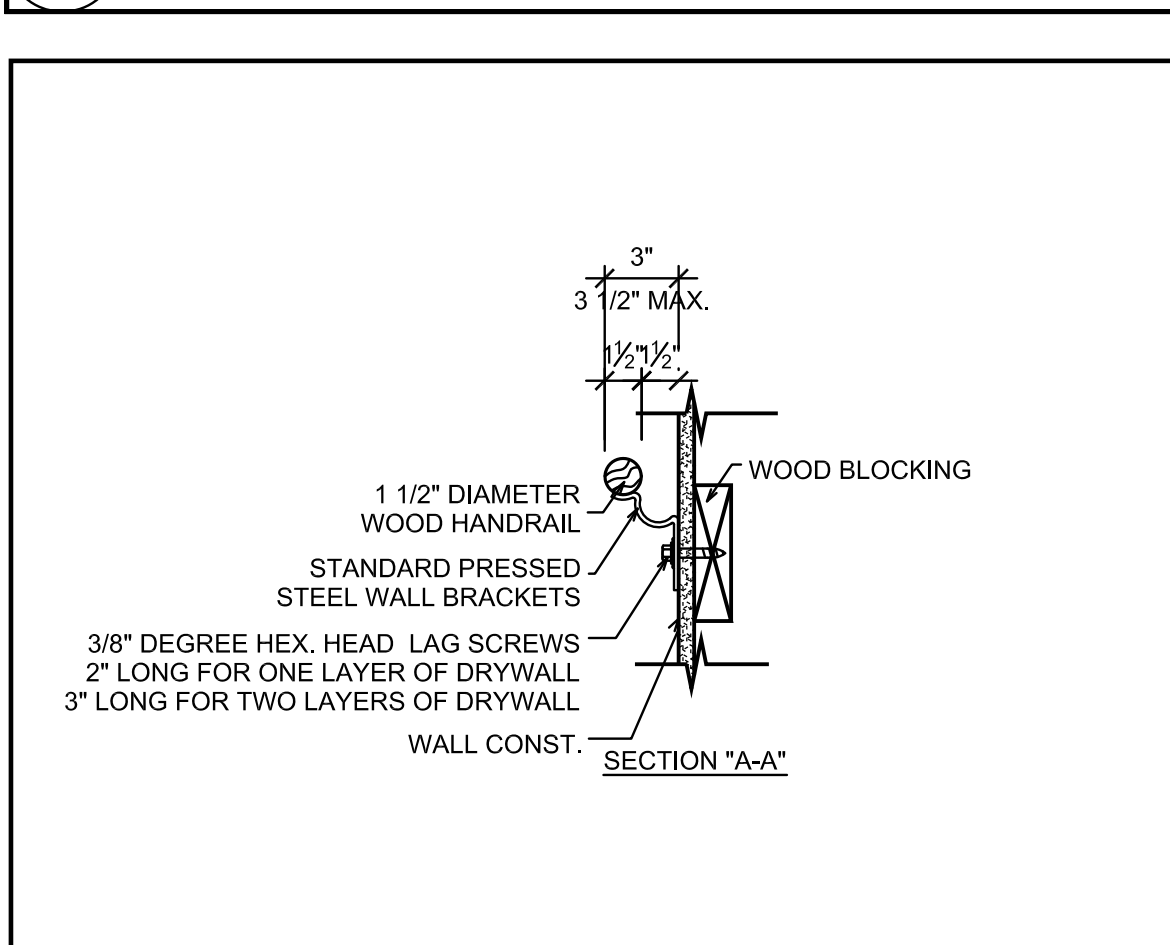
13 GENERIC DRIP EDGE
A-431 Scale:N.T.S



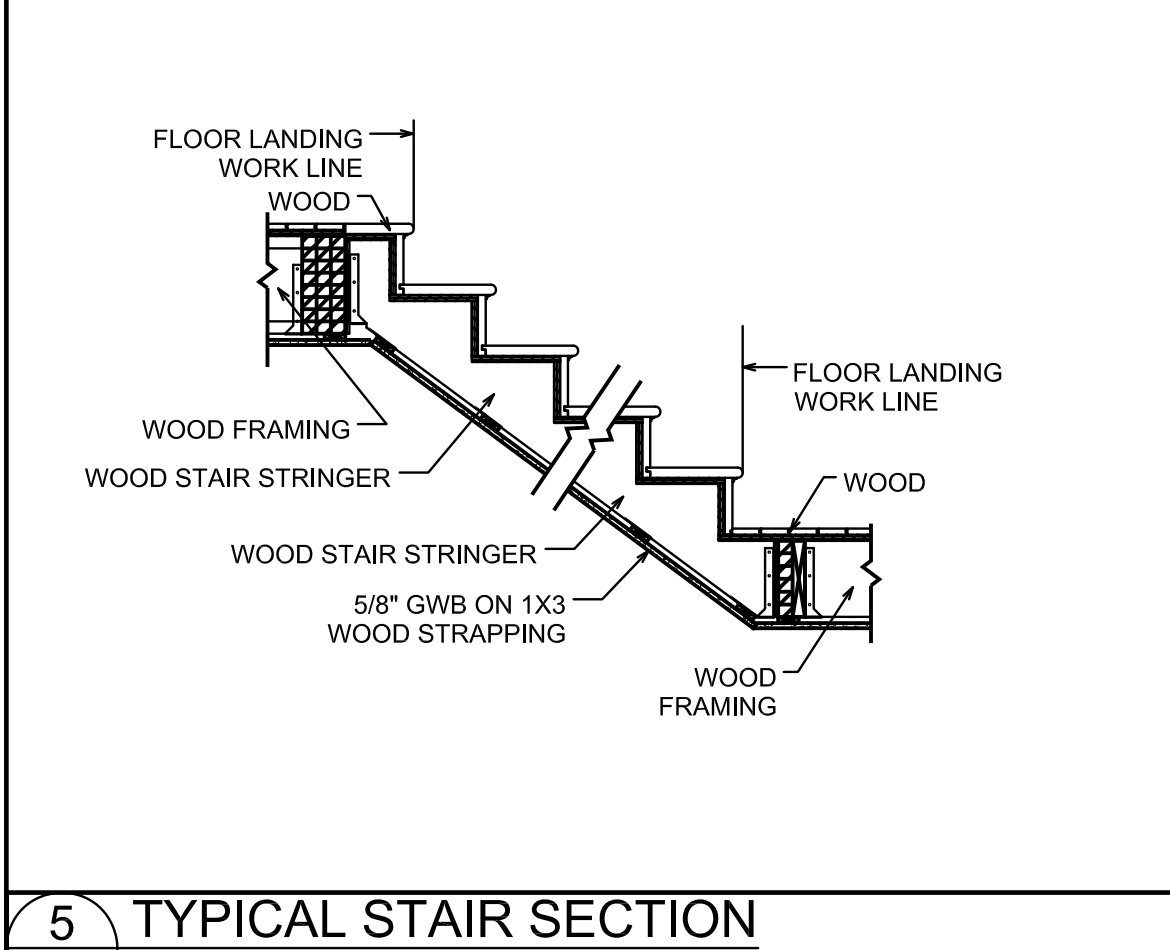
14 VALLEY FLASHING
A-431 Scale:N.T.S



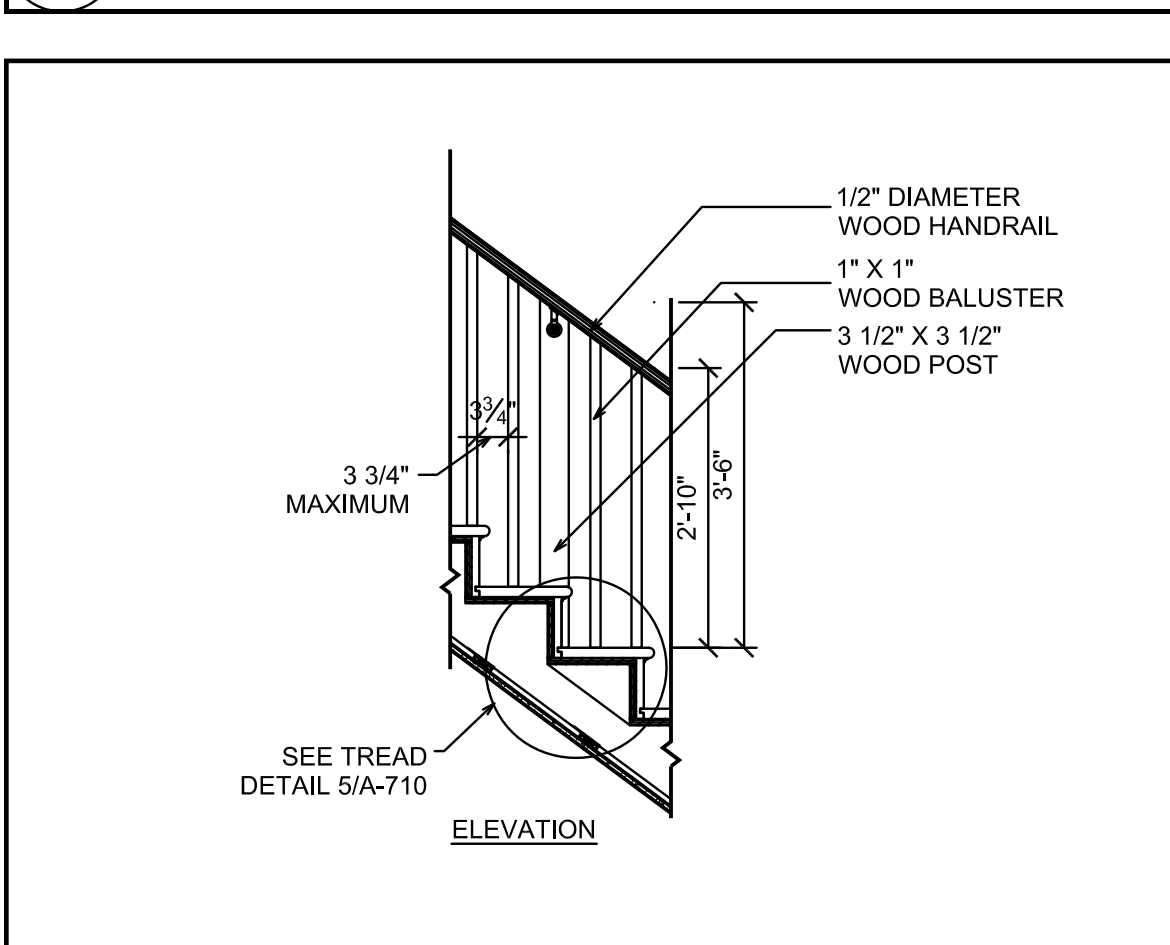
9 WOOD STAIR DETAIL
A-400 Scale:1 1/2 inch=1'-0 inch



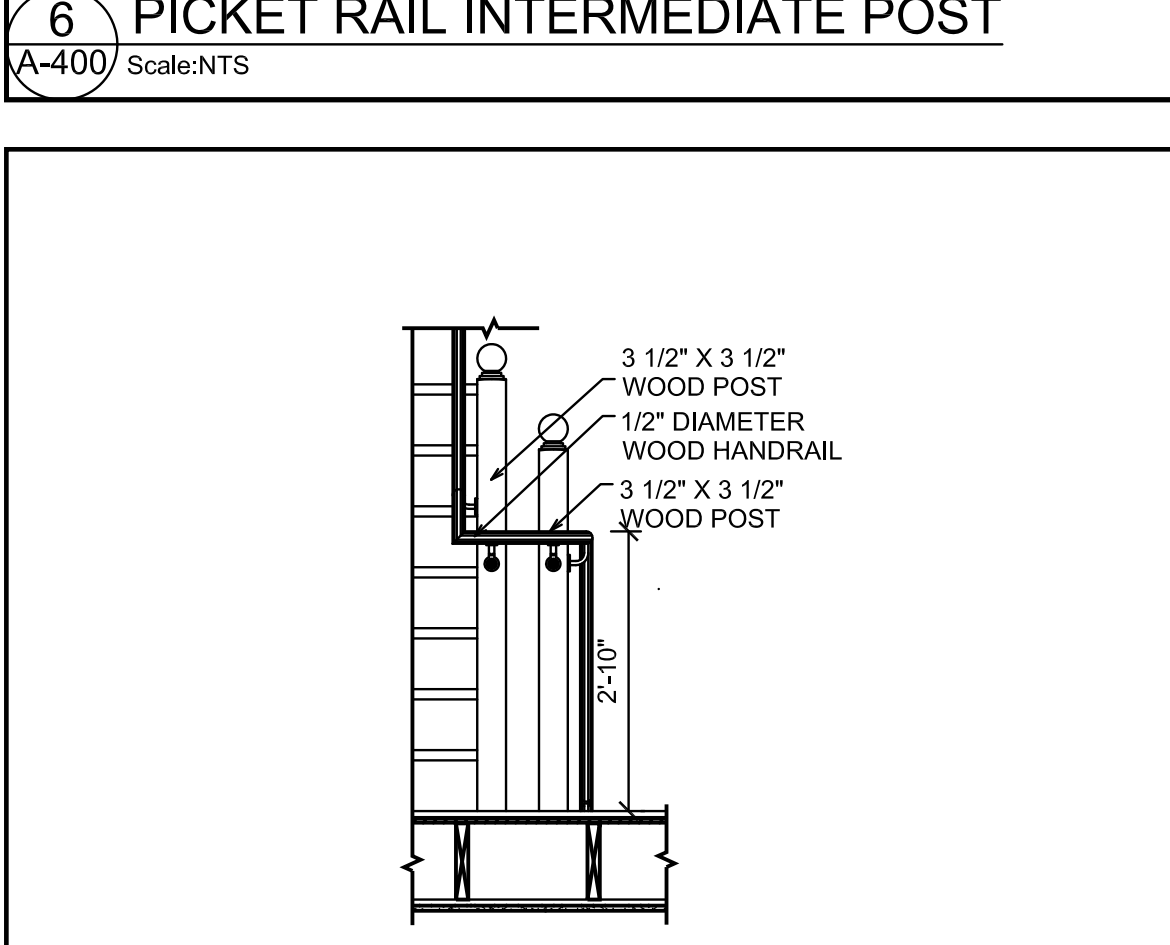
10 TYPICAL WALL RAIL
A-400 Scale:1 1/2 inch=1'-0 inch



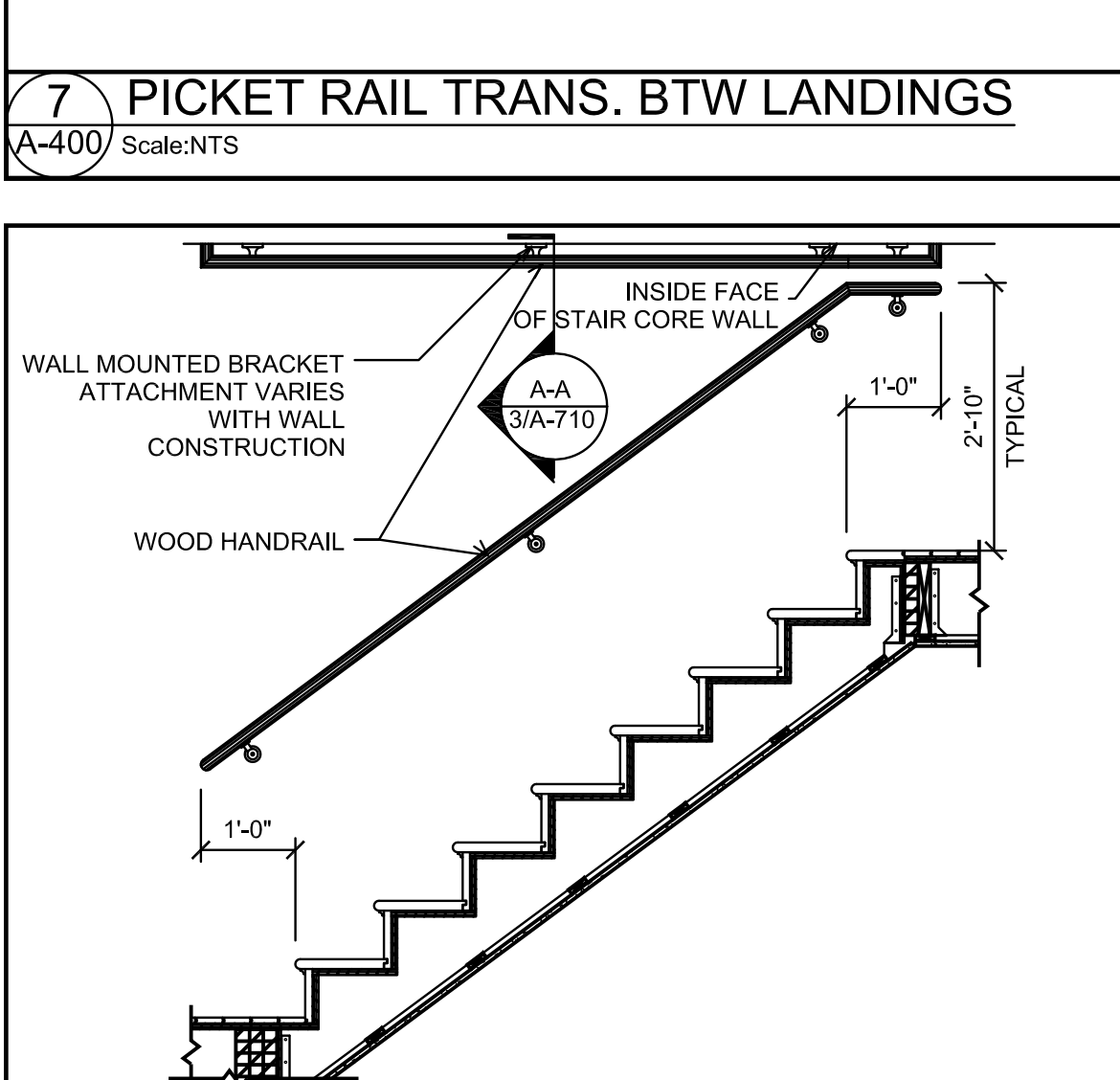
5 TYPICAL STAIR SECTION
A-400 Scale:NTS



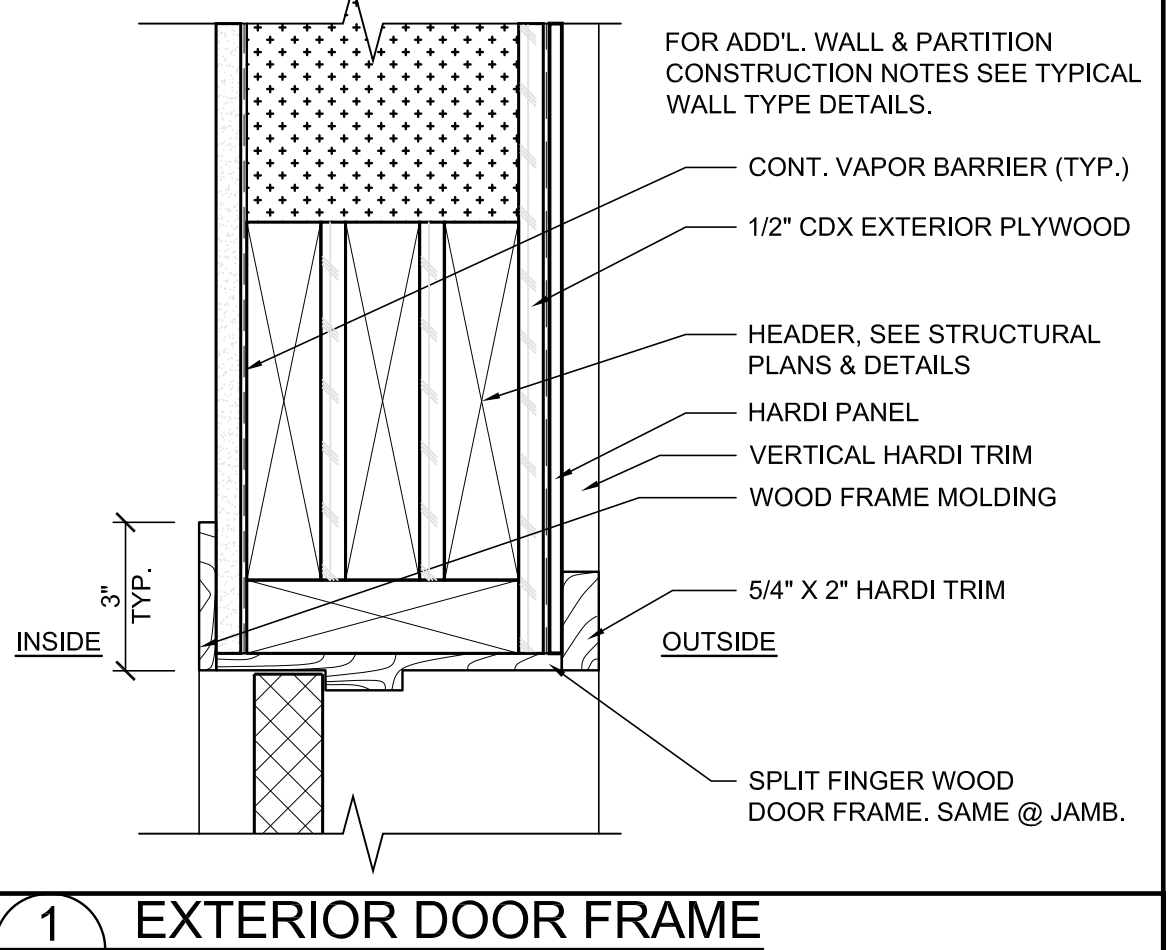
6 PICKET RAIL INTERMEDIATE POST
A-400 Scale:NTS



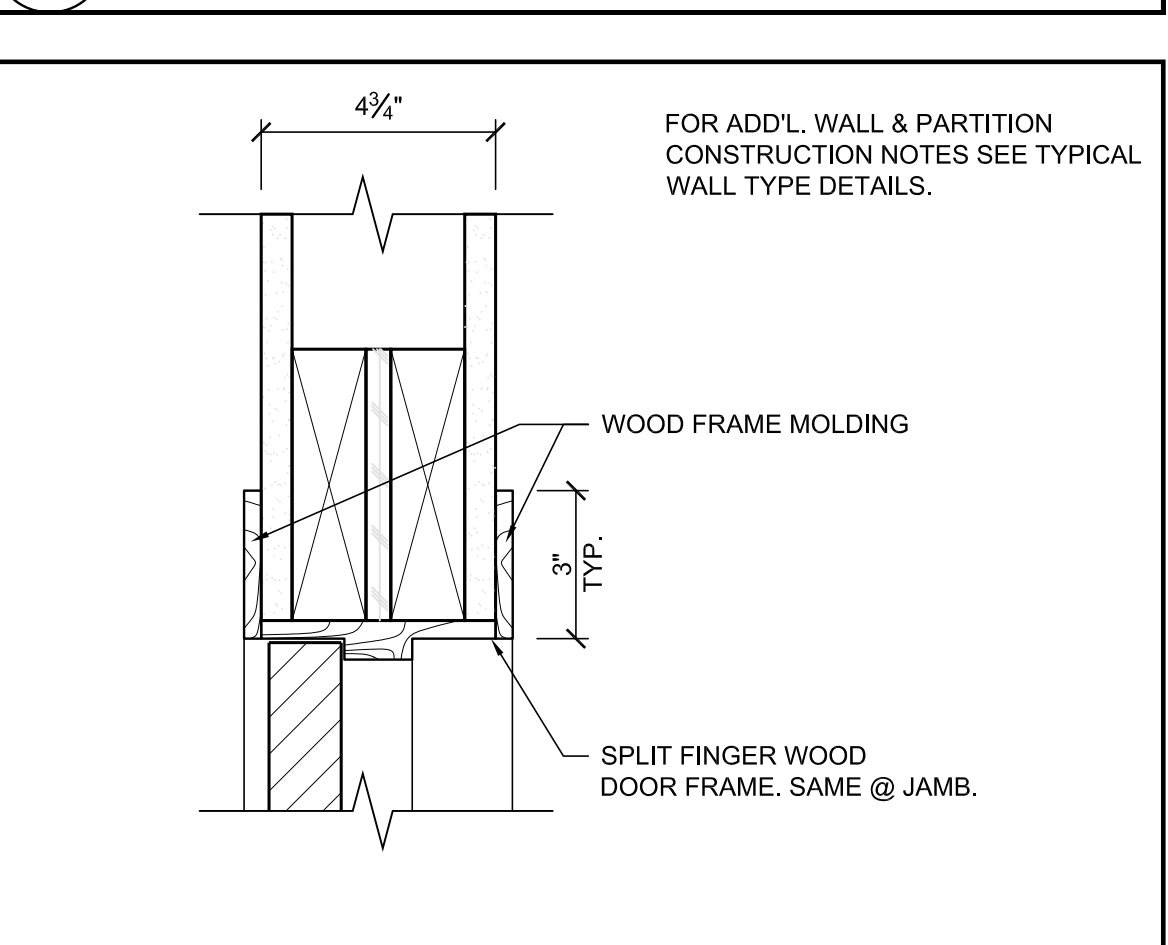
7 PICKET RAIL TRANS. BTW LANDINGS
A-400 Scale:NTS



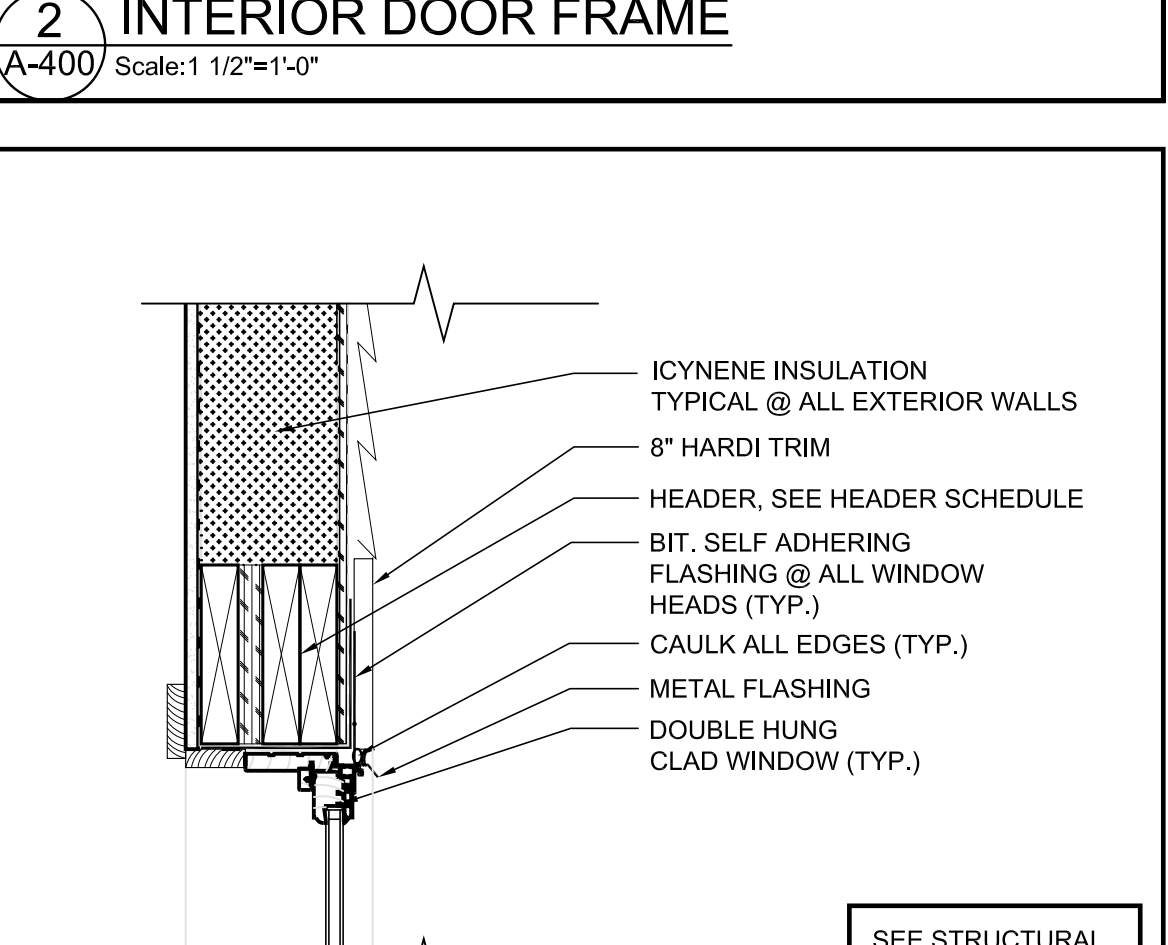
8 TYPICAL WALL RAIL
A-400 Scale:NTS



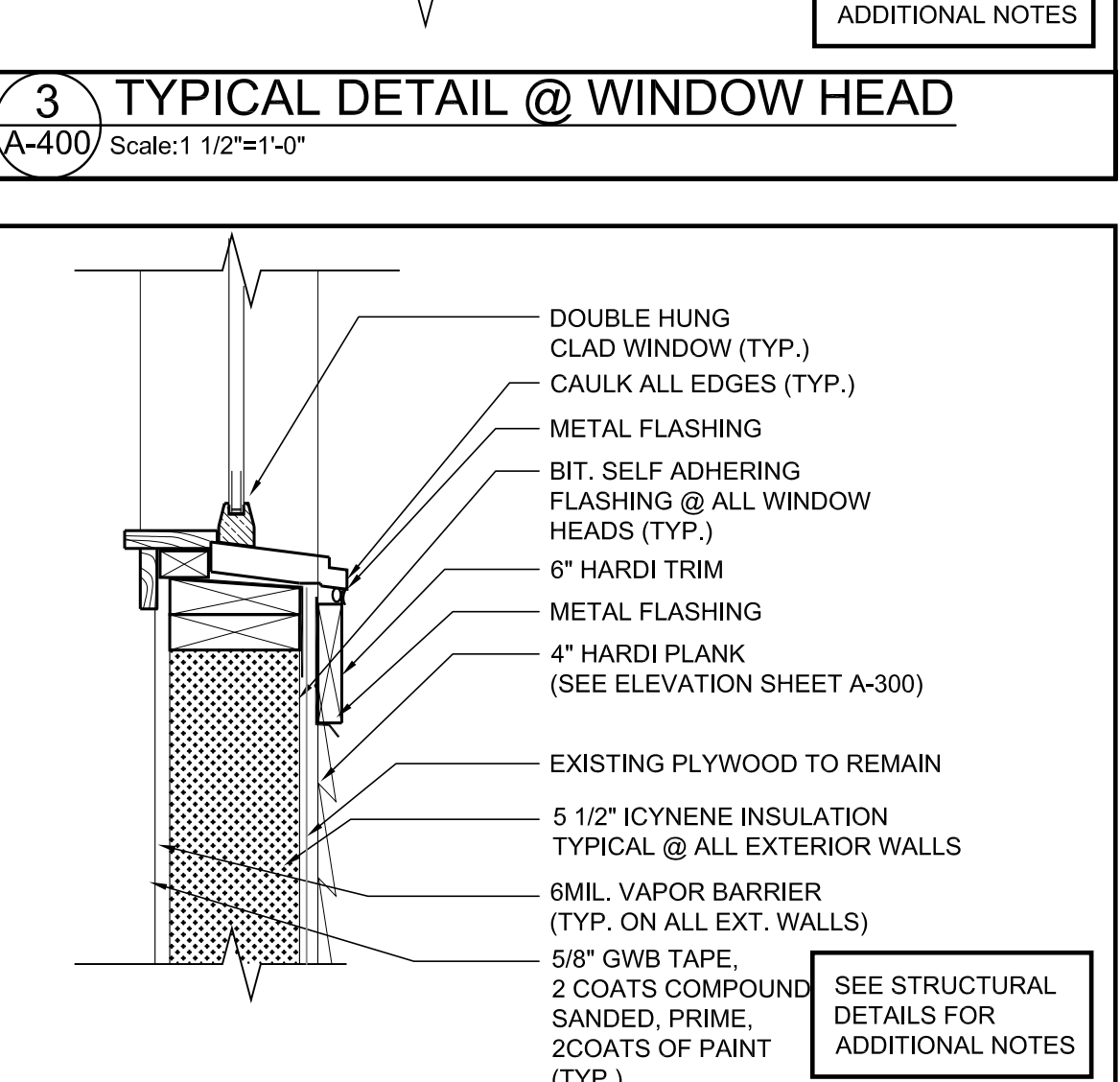
1 EXTERIOR DOOR FRAME
A-400 Scale:3 inch=1'-0 inch



2 INTERIOR DOOR FRAME
A-400 Scale:1 1/2 inch=1'-0 inch



3 TYPICAL DETAIL @ WINDOW HEAD
A-400 Scale:1 1/2 inch=1'-0 inch



4 TYPICAL DETAIL @ WINDOW SILL
A-400 Scale:1 1/2 inch=1'-0 inch

PROJECT NAME
SUMMER ST. RESIDENCE

PROJECT ADDRESS
139 SUMMER ST. SOMERVILLE, MA

CLIENT
ED DOHERTY

ARCHITECT
KHALSA DESIGN INC.



17 IVALOO STREET, SUITE 400
SOMERVILLE, MA 02143
TELEPHONE 617-591-8682 FAX: 617-591-2086

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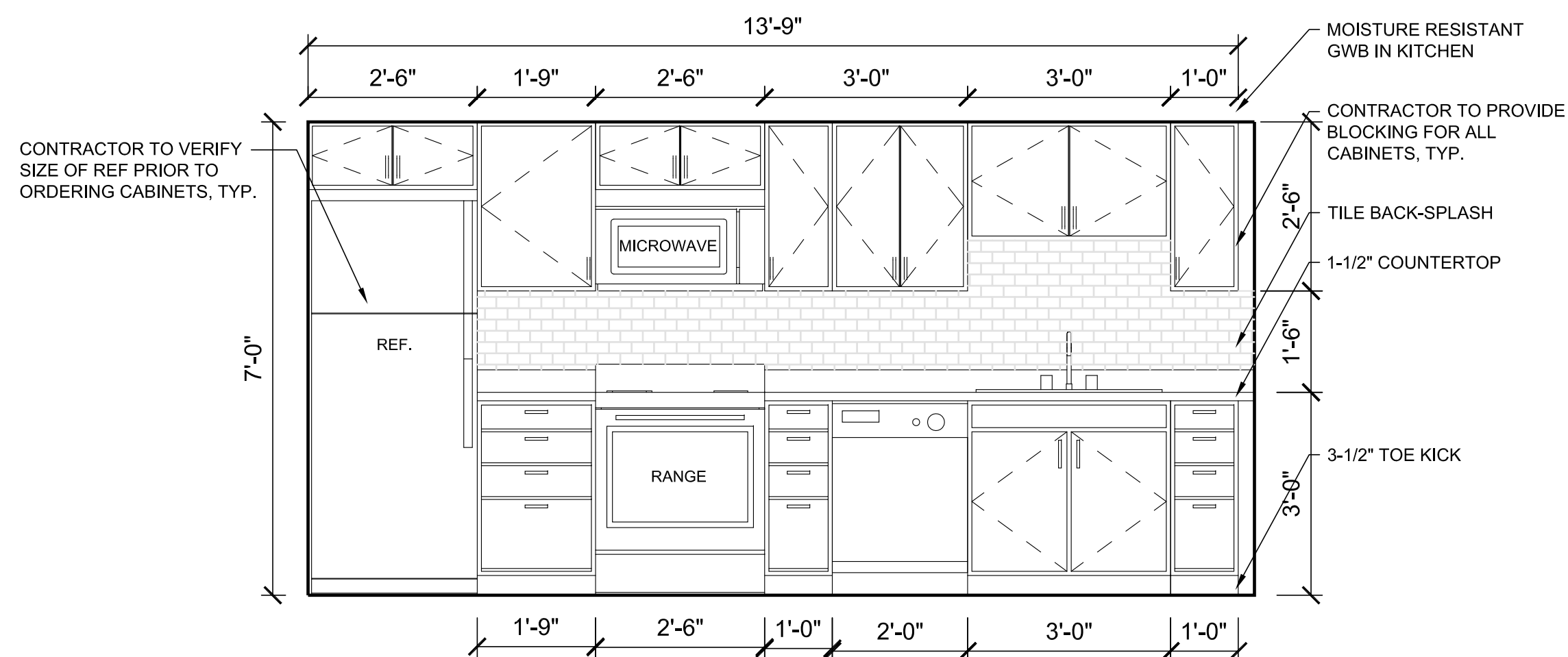
Project number 14032
Date 08-14-14
Drawn by AB, TC
Checked by JSK
Scale 1/4 inch=1'-0 inch

REVISIONS		
No.	Description	Date
1	REVISION 1	05/16/2014

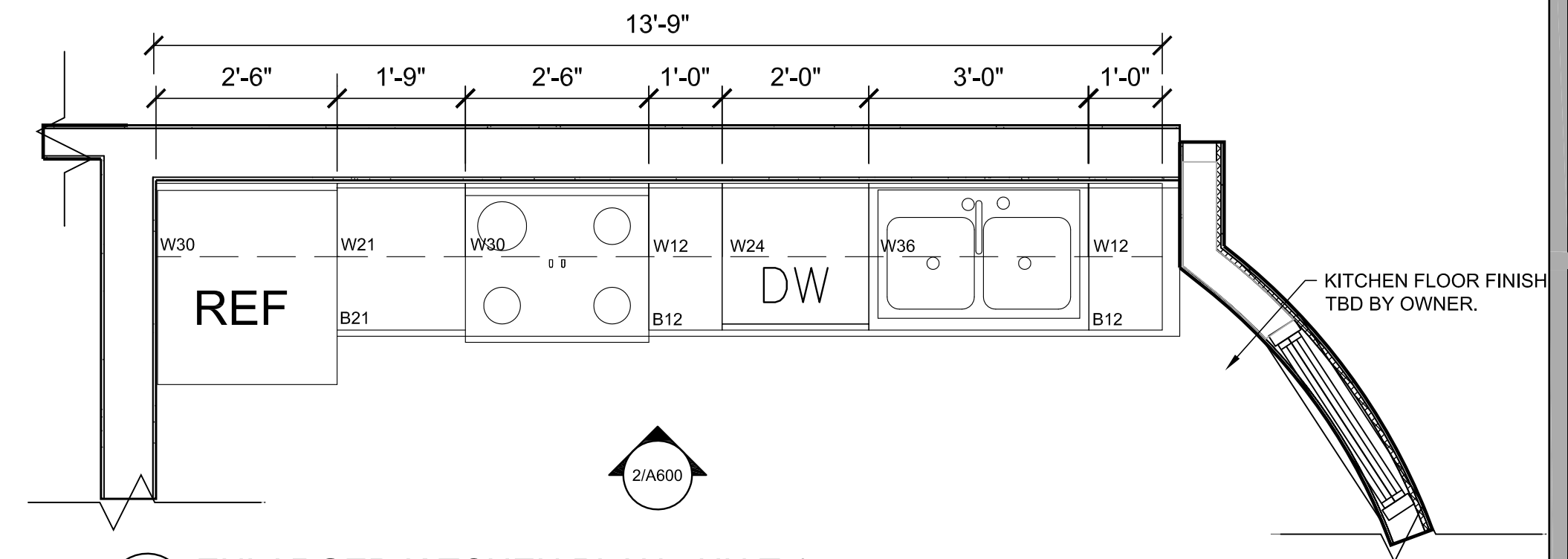
ROOF/STAIR/WINDOW
DETAILS

A-500

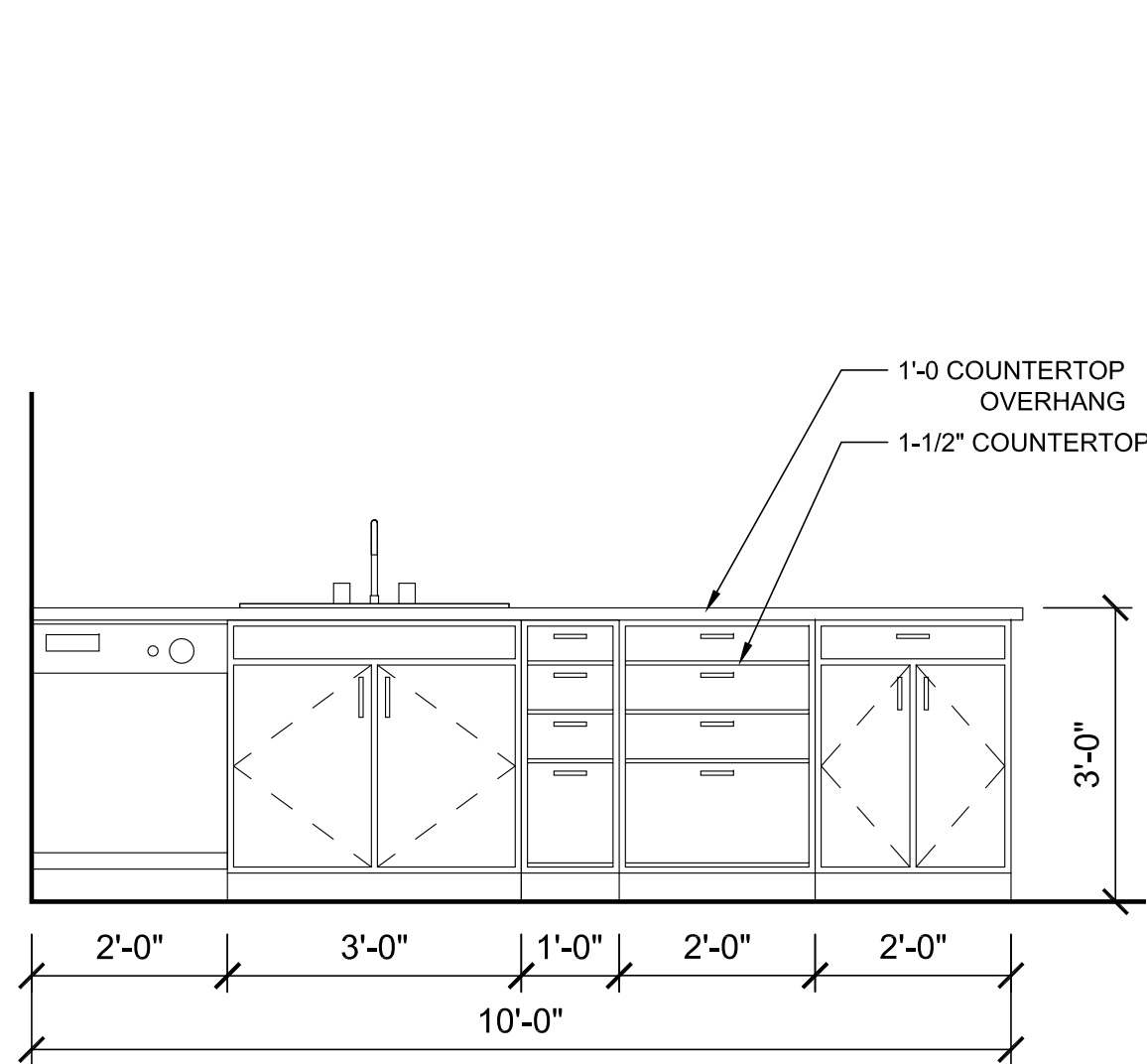
14032_139 SUMMER ST



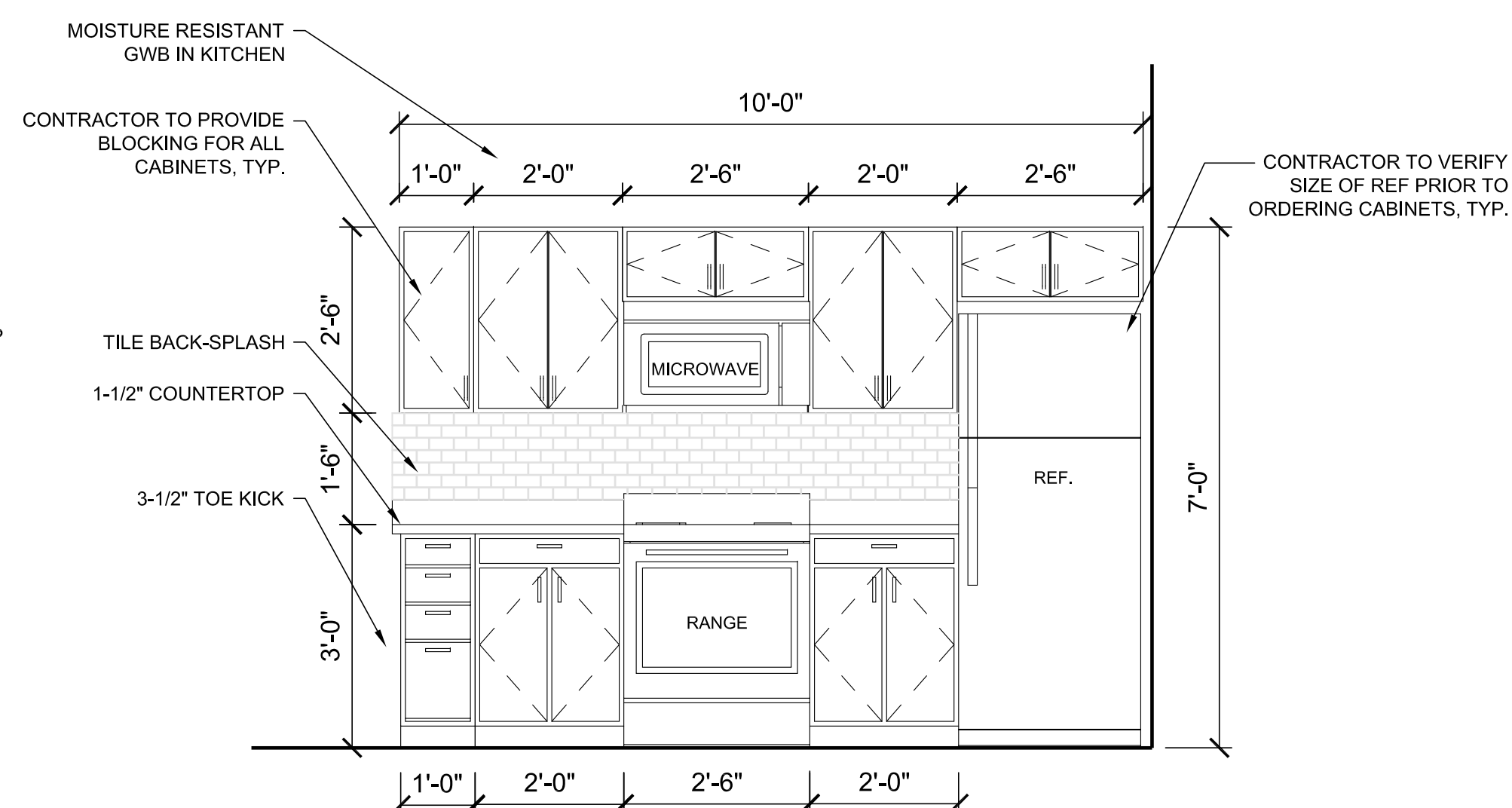
2 KITCHEN ELEVATION - UNIT 1
A600 Scale: 1/2"=1'-0"



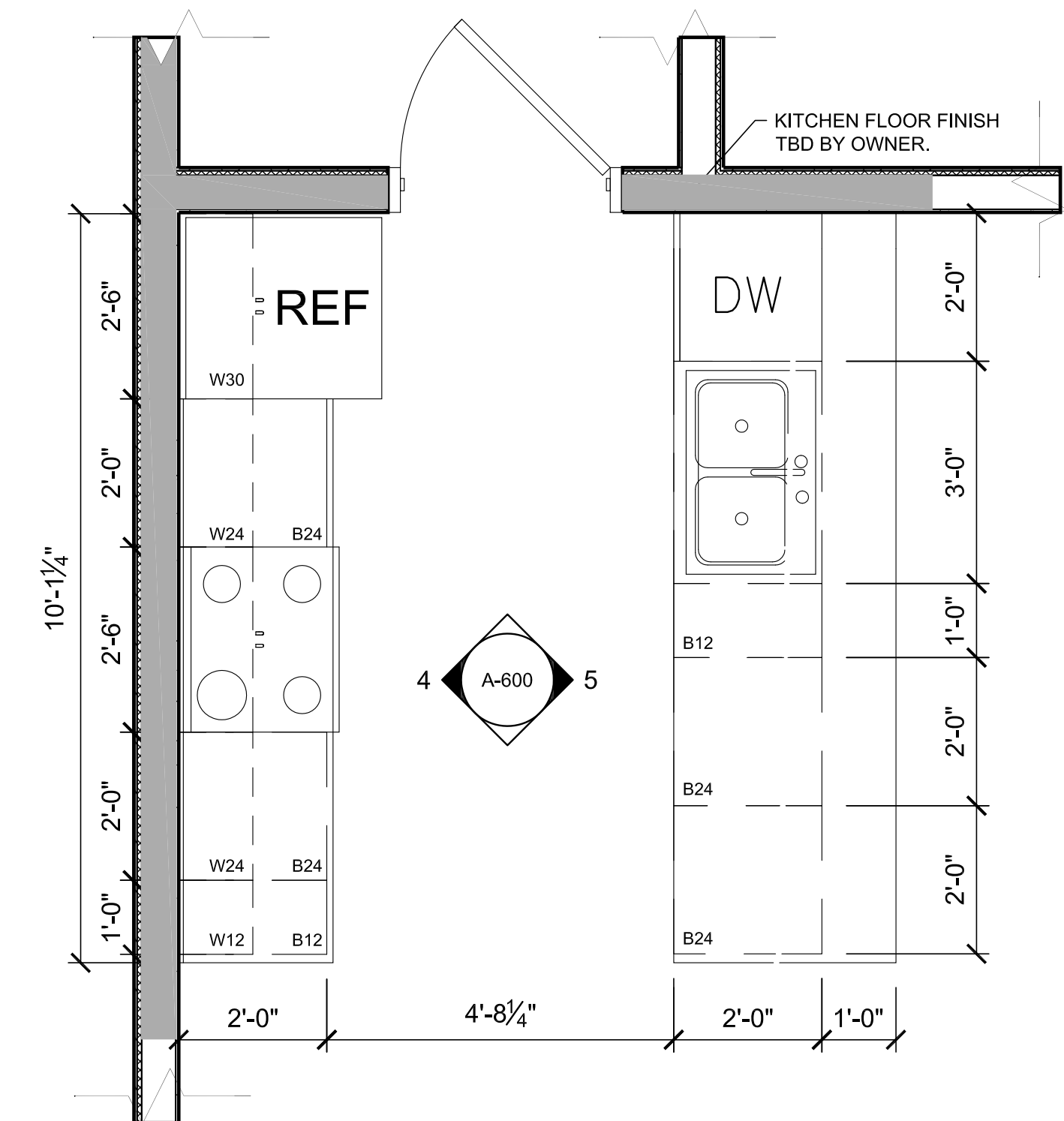
1 ENLARGED KITCHEN PLAN - UNIT 1
A600 Scale: 1/2"=1'-0"



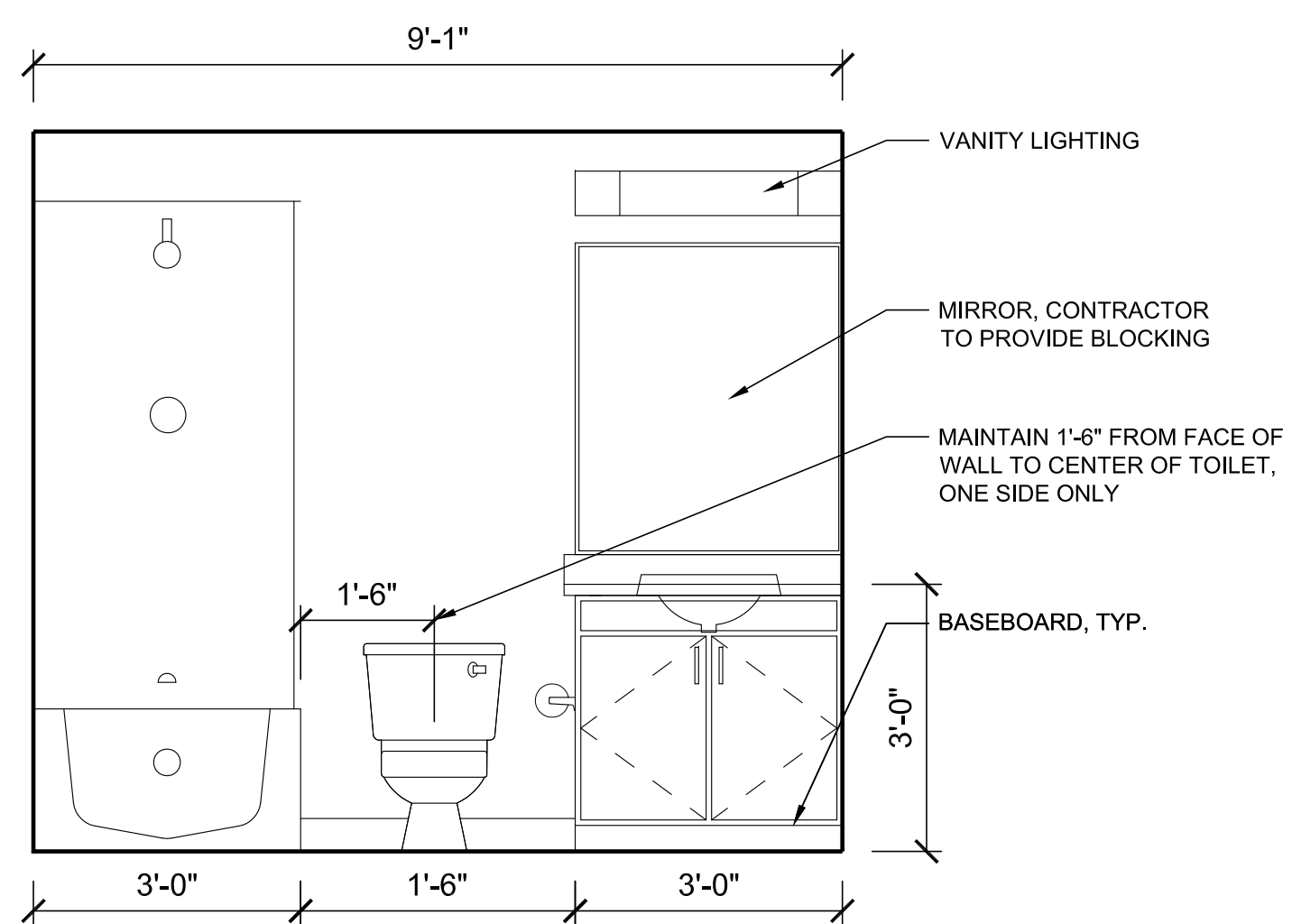
5 KITCHEN ELEVATION - UNIT 2 & 3
A600 Scale: 1/2"=1'-0"



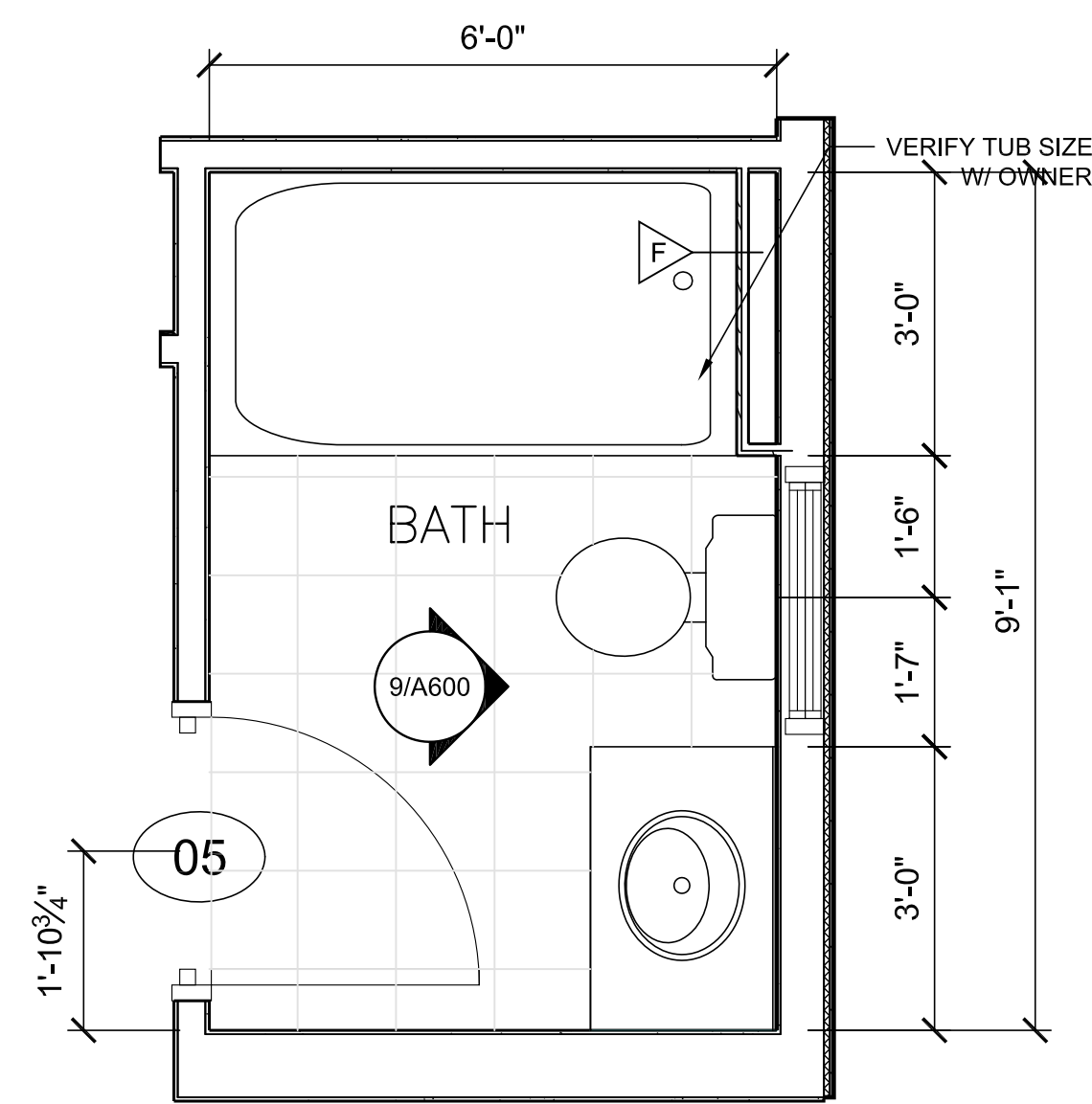
4 KITCHEN ELEVATION - UNIT 2 & 3
A600 Scale: 1/2"=1'-0"



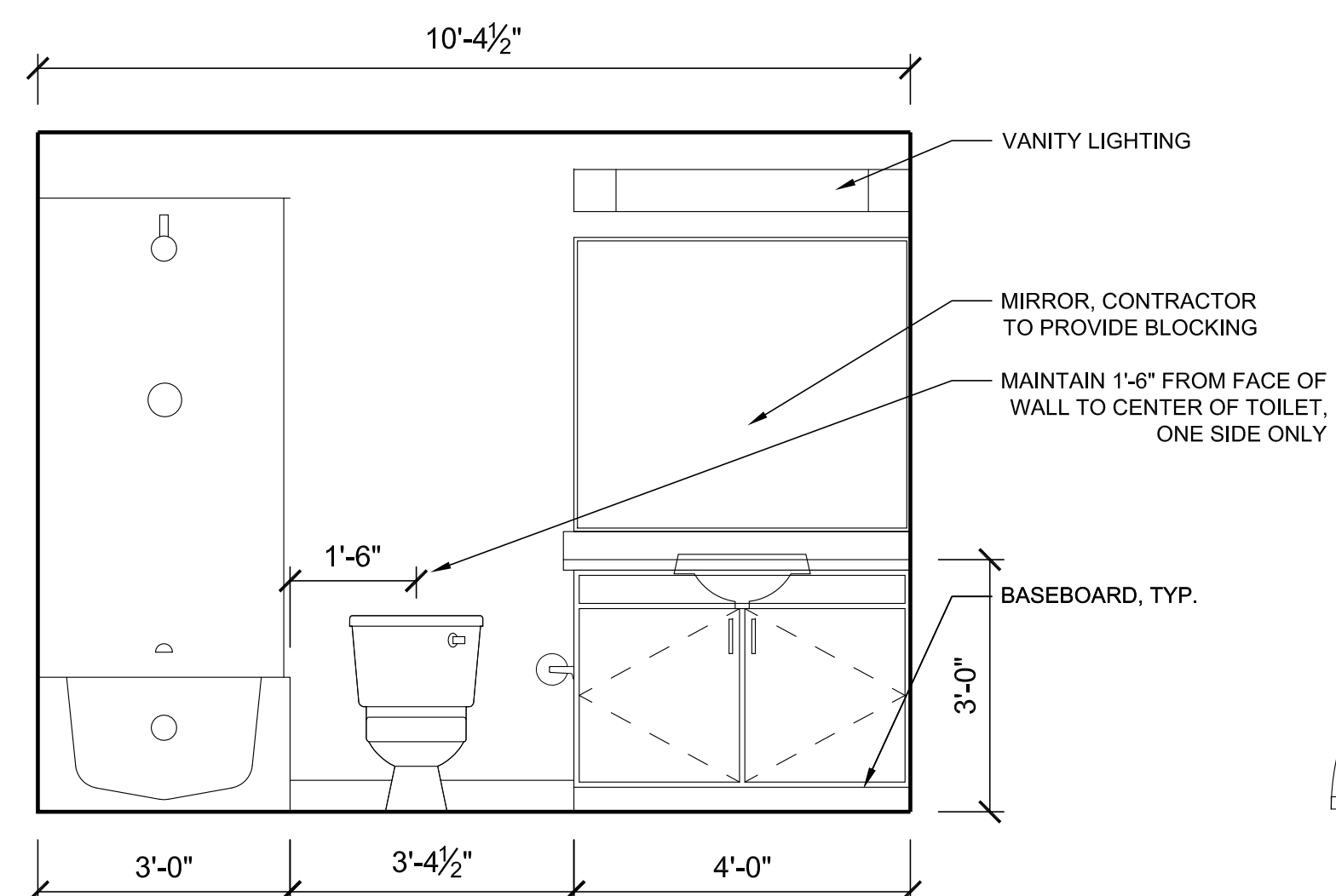
3 KITCHEN ELEVATION - UNIT 1
A600 Scale: 1/2"=1'-0"



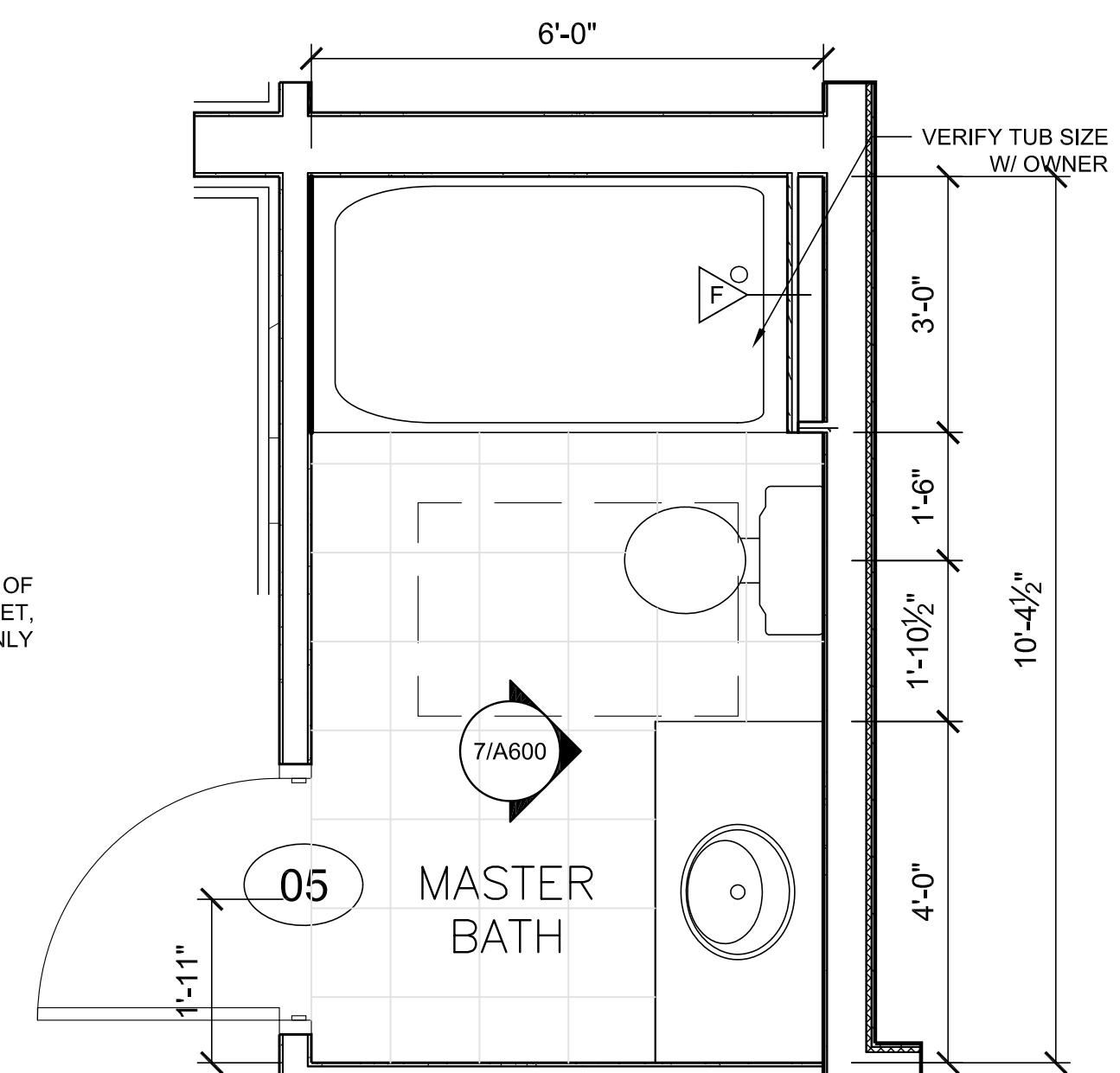
9 TYPICAL BATH ELEVATION
A600 Scale: 1/2"=1'-0"



8 TYPICAL BATH
A600 Scale: 1/2"=1'-0"



7 TYP. MASTER BATH ELEVATION
A600 Scale: 1/2"=1'-0"



6 TYP. MASTER BATH
A600 Scale: 1/2"=1'-0"

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139 SUMMER ST. SOMERVILLE, MA

CLIENT
ED DOHERTY

ARCHITECT
KHALSA DESIGN INC.



17 IVALOO STREET, SUITE 400
SOMERVILLE, MA 02143
TELEPHONE 617-591-8682 FAX: 617-591-2086

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REVISIONS

No.	Description	Date
1	REVISION 1	05/16/2014

ENLARGED PLANS & ELEVATIONS

A-600

14032_139 SUMMER ST

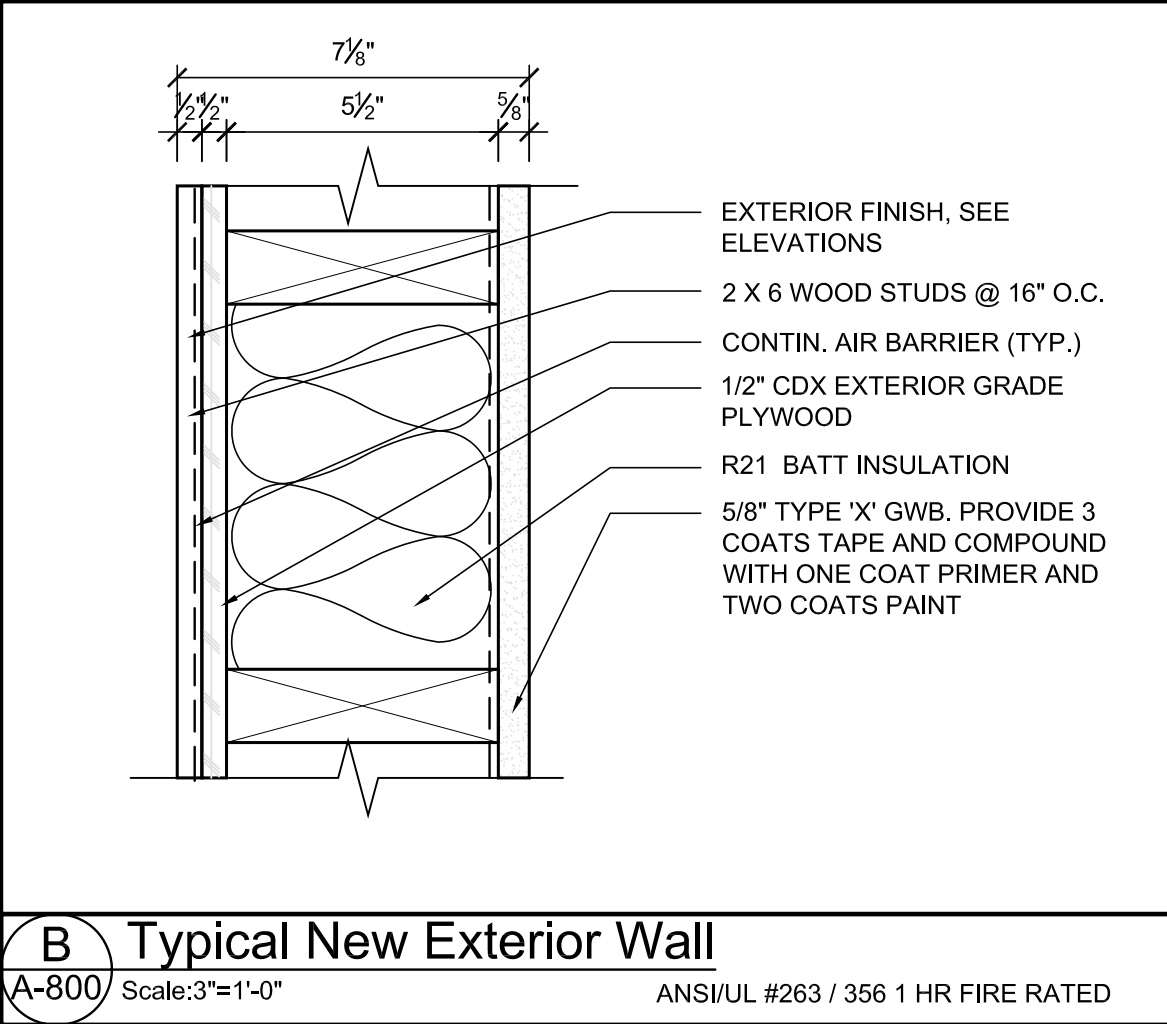
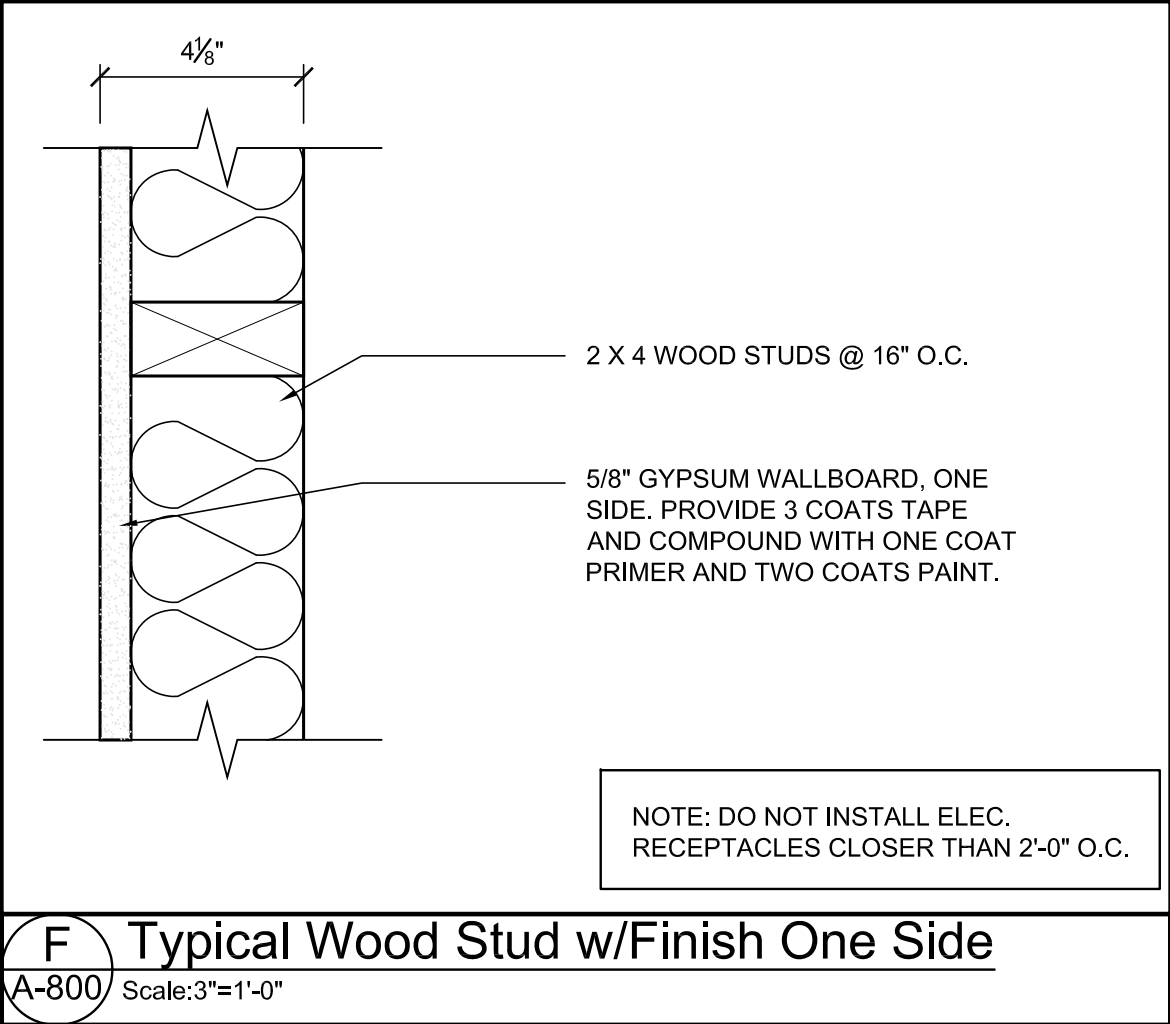
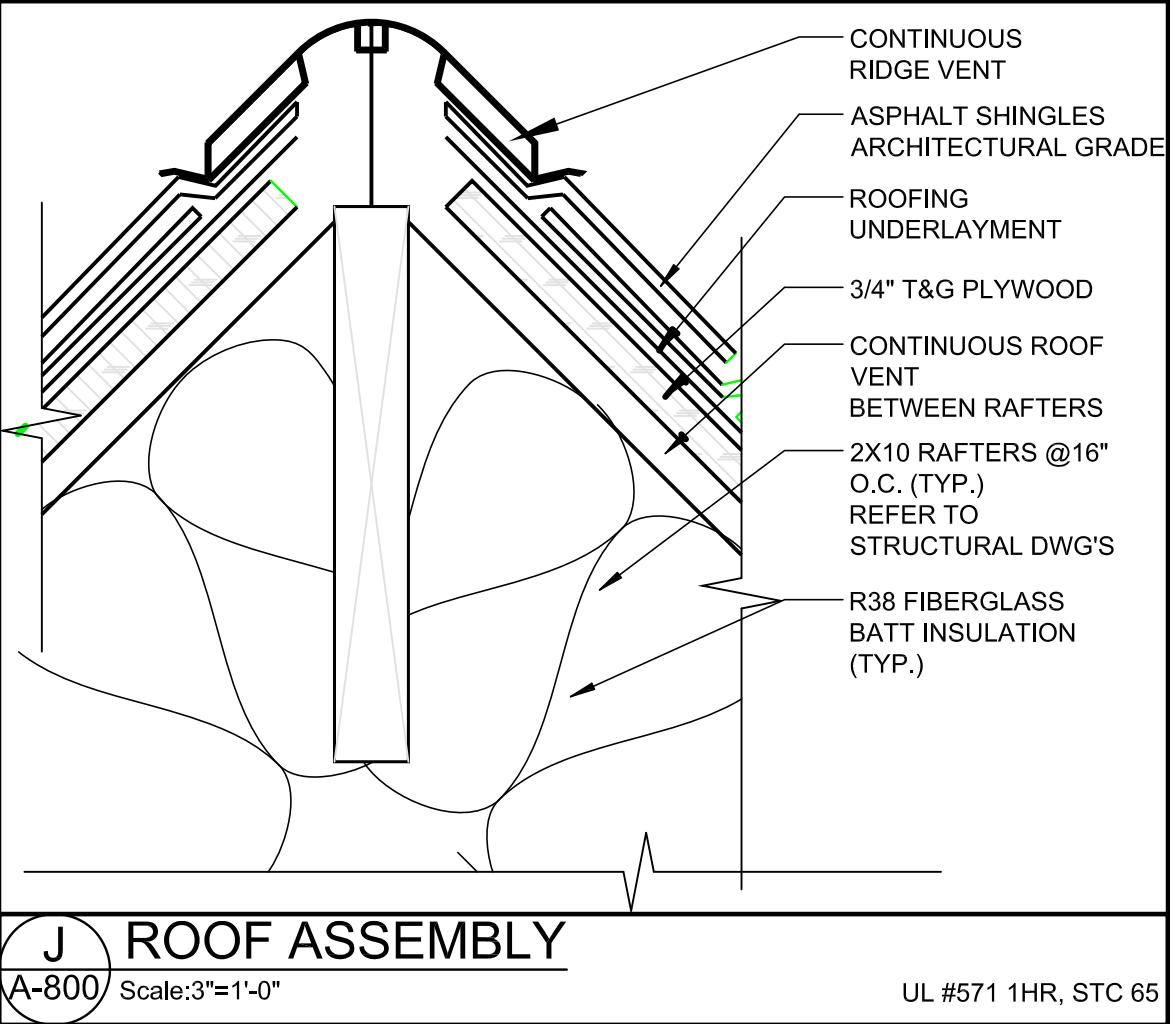
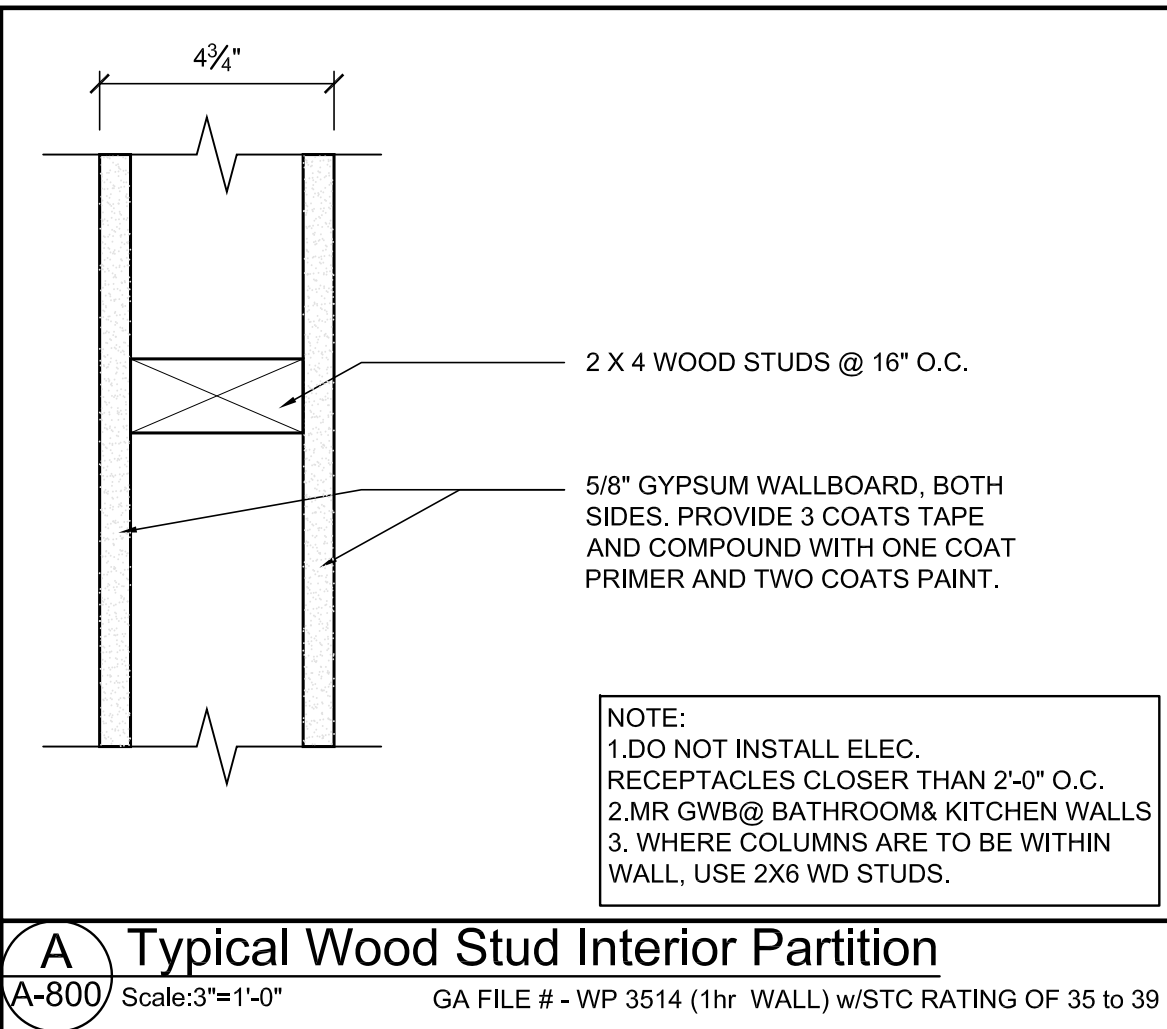
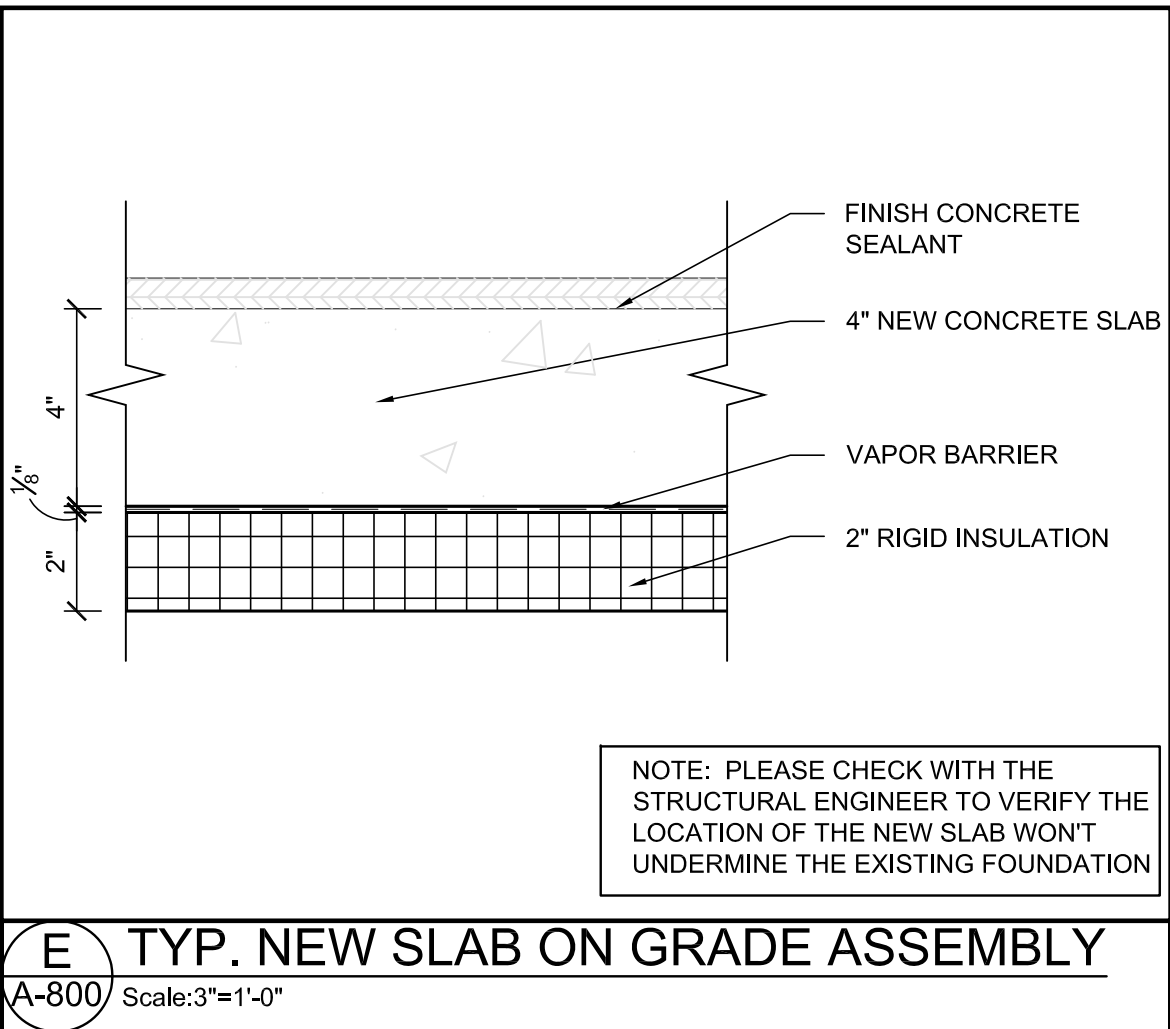
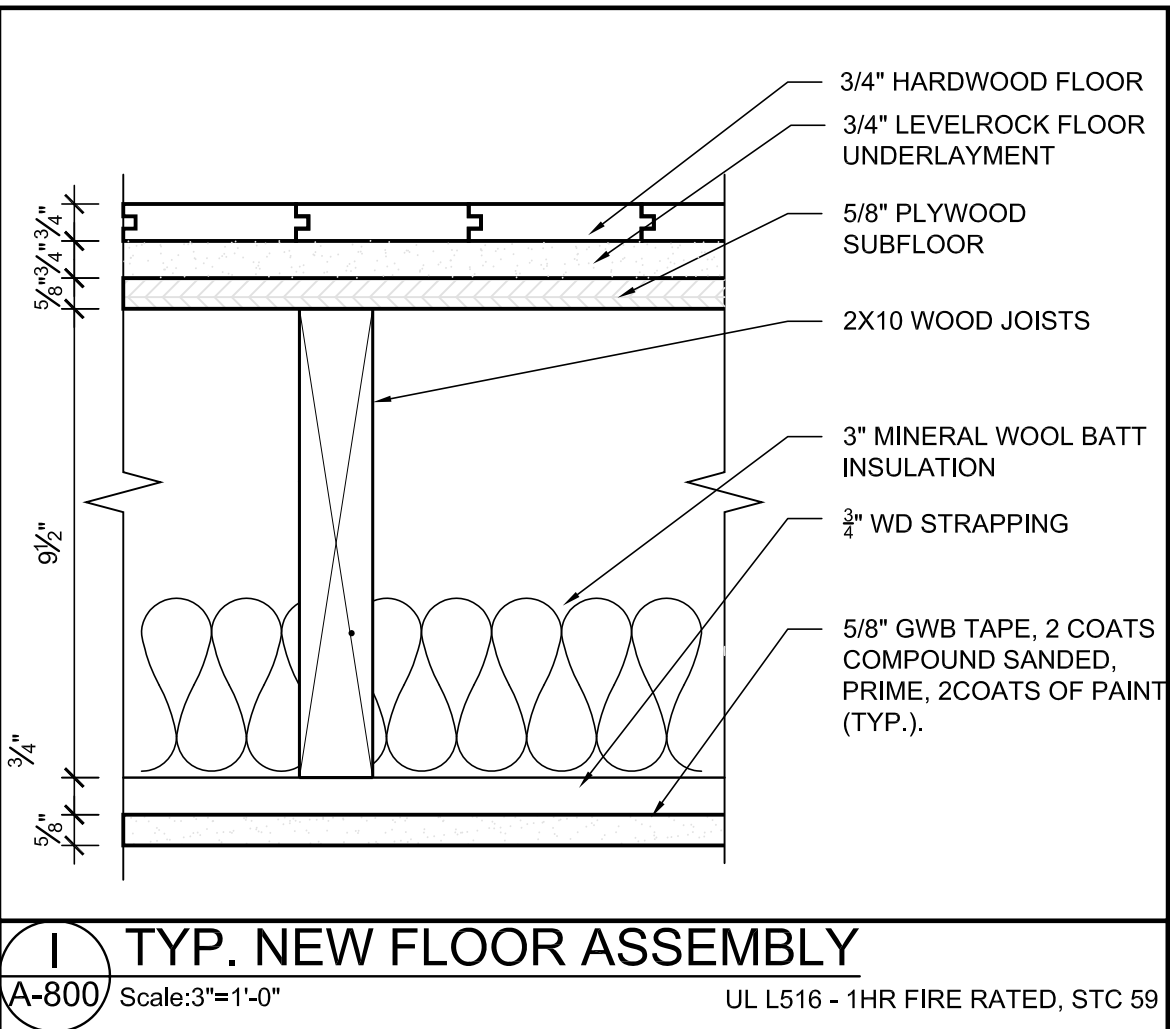
WINDOW SCHEDULE					
MARK	TYPE	WINDOW SIZE (ROUGH OPENING)	HEAD	SILL	REMARKS
A	DOUBLE HUNG WINDOWS	2'-8" X 5'-8"	3/A500	4/A500	
B	DOUBLE HUNG WINDOWS	2'-8" X 4'-10"	3/A500	4/A500	
C	DOUBLE HUNG WINDOWS	4'-6" X 2'-6"	3/A500	4/A500	
D	DOUBLE HUNG WINDOWS	4'-0" X 2'-8"	3/A500	4/A500	
E	DOUBLE HUNG WINDOWS	3'-8" X 2'-8"	3/A500	4/A500	
F	FIXED	2'-4" X 2'-8"	3/A500	4/A500	
G	DOUBLE HUNG WINDOWS	4'-6" X 2'-0"	3/A500	4/A500	
H	DOUBLE HUNG WINDOWS	3'-0" X 2'-0"	3/A500	4/A500	
I	DOUBLE HUNG WINDOWS	3'-0" X 1'-4"	3/A500	4/A500	
J	FIXED	2'-0" X 3'-0"	3/A500	4/A500	
K	FIXED	3'-4" X 1'-8"	3/A500	4/A500	HALF CIRCLE WINDOW AT BALCONY DOORS
L	SKYLIGHT	36" X 42"			BY VELLUX OR SIMILAR
M	DOUBLE HUNG WINDOWS	2'-4" X 3'-0"	3/A500	4/A500	

NOTE:

ALL WINDOWS BASED UPON JELD-WEN DOUBLE-HUNG WINDOWS FOR SIZING PURPOSES ONLY.

ACTUAL WINDOWS INSTALLED SHALL HAVE PAINT GRADE INTERIOR & EXTERIOR SURFACES SEE DETAIL 5/A-800.

ALL ROUGH OPENINGS SHALL BE VERIFIED IN FIELD AND/OR COORDINATED WITH MANUFACTURERS DATA PRIOR TO FURNISH AND INSTALL.



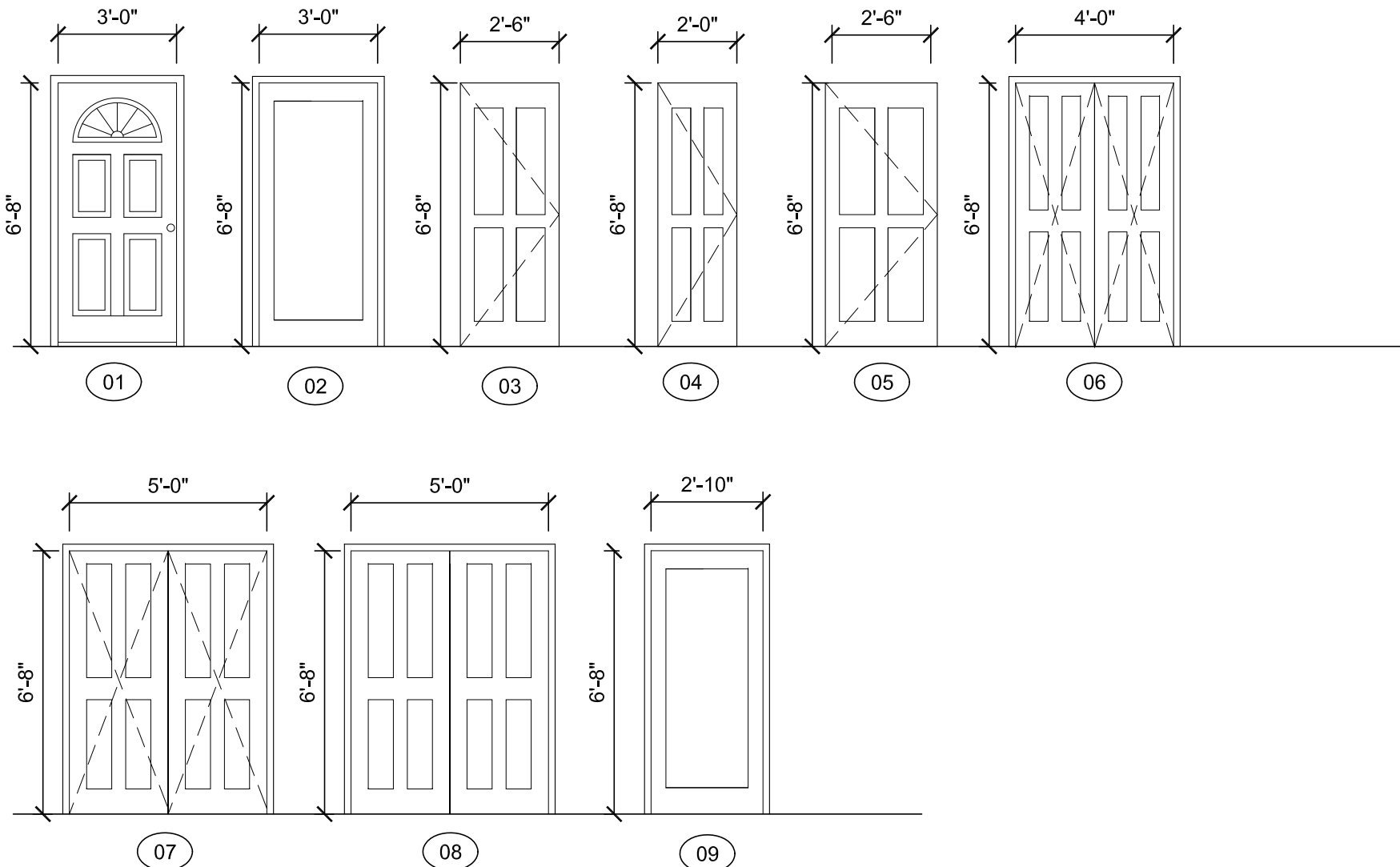
DOOR SCHEDULE

NO.	LOCATION	STYLE	SIZE/ QUANTITY	DOOR MATERIAL	ELEV. NO.	FINISH	UNDERCUT	CLOSER	FRAME			HARDWARE		REMARKS
									MATERIAL	HEAD	FINISH	TYPE	FINISH	
01	UNIT ENTRY	HINGED-SINGLE	3'-0" X 6'-8"	GLASS & SOLID WOOD	01	METAL	NO	NO	WOOD	1/A500	PAINTED			20 MIN FIRE RATING
02	UNIT ENTRY & BALCONY	HINGED-SINGLE	3'-0" X 6'-8"	GLASS & SOLID WOOD	02	METAL	NO	NO	WOOD	1/A500	PAINTED			20 MIN FIRE RATING
03	CLOSET/BEDROOM/BATH	HINGED-SINGLE	2'-6" X 6'-8"	SOLID CORE WOOD	03	PAINT	YES	NO	WOOD	2/A500	PAINTED			
04	CLOSET	HINGED-SINGLE	2'-0" X 6'-8"	SOLID CORE WOOD	04	PAINT	YES	NO	WOOD	2/A500	PAINTED			
05	CLOSET/BEDROOM/BATH	HINGED-SINGLE	2'-6" X 6'-8"	SOLID CORE WOOD	05	PAINT	YES	NO	WOOD	2/A500	PAINTED			
06	CLOSET	BIFOLD-DOUBLE	4'-0" X 6'-8"	SOLID CORE WOOD	06	PAINT	YES	NO	WOOD	2/A500	PAINTED			
07	CLOSET	BIFOLD-DOUBLE	5'-0" X 6'-8"	SOLID CORE WOOD	07	PAINT	YES	NO	WOOD	2/A500	PAINTED			
08	CLOSET	HINGED-DOUBLE	5'-0" X 6'-8"	SOLID CORE WOOD	08	PAINT	YES	NO	WOOD	2/A500	PAINTED			
09	BALCONY	HINGED-SINGLE	2'-10" X 6'-8"	VINYL CLAD & GLASS	07	PAINT	NO	NO	WOOD	1/A500	PAINTED			

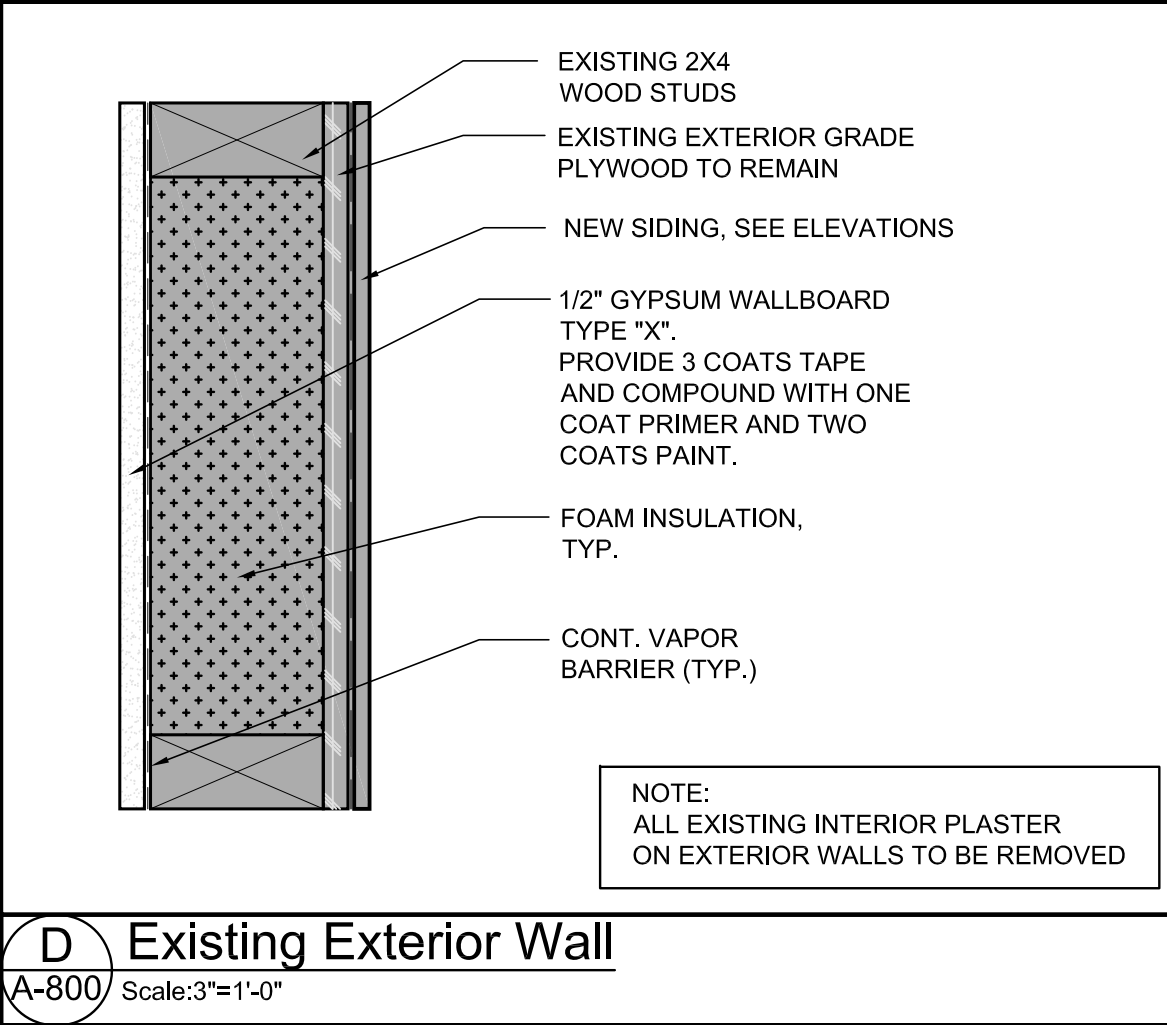
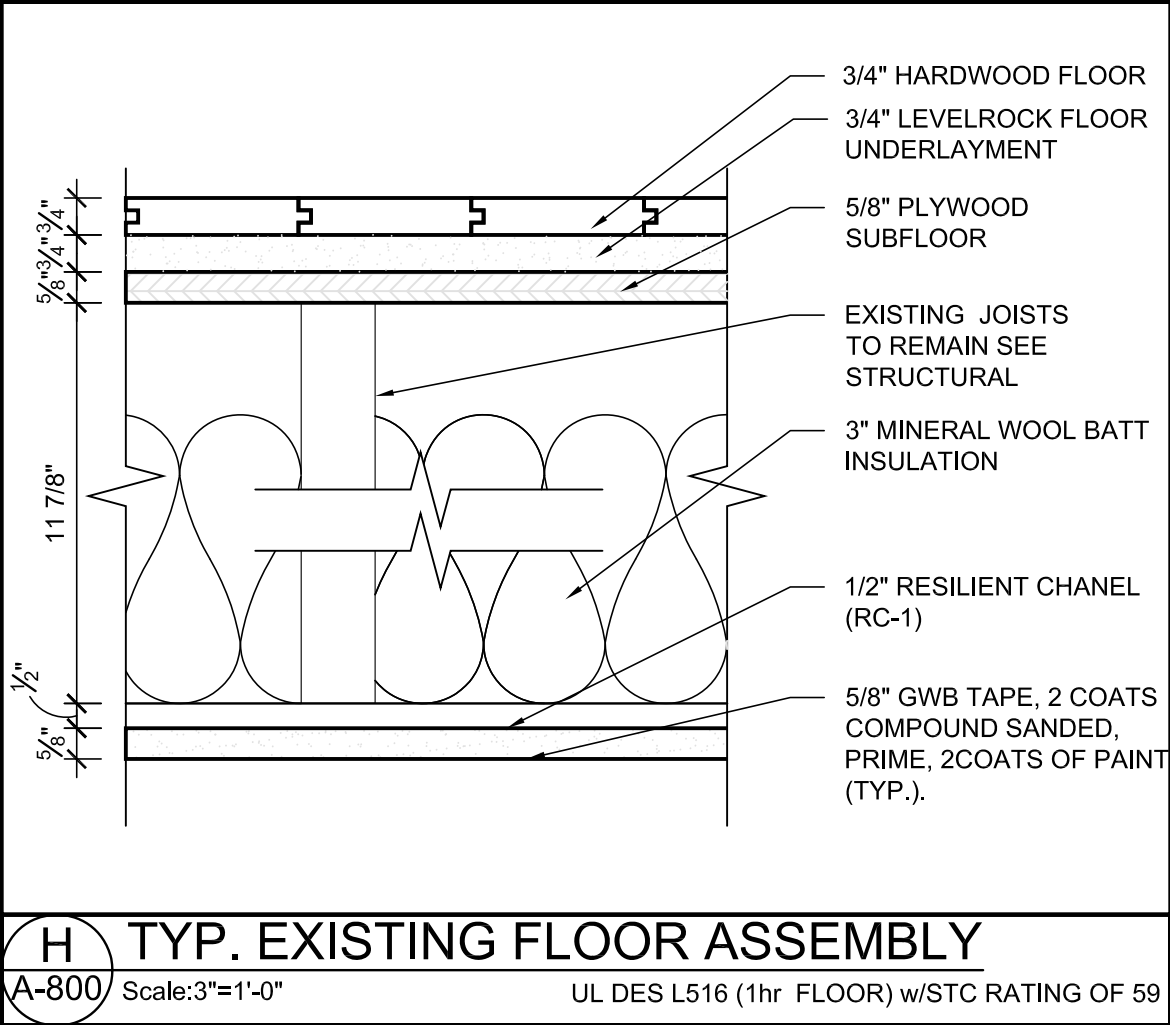
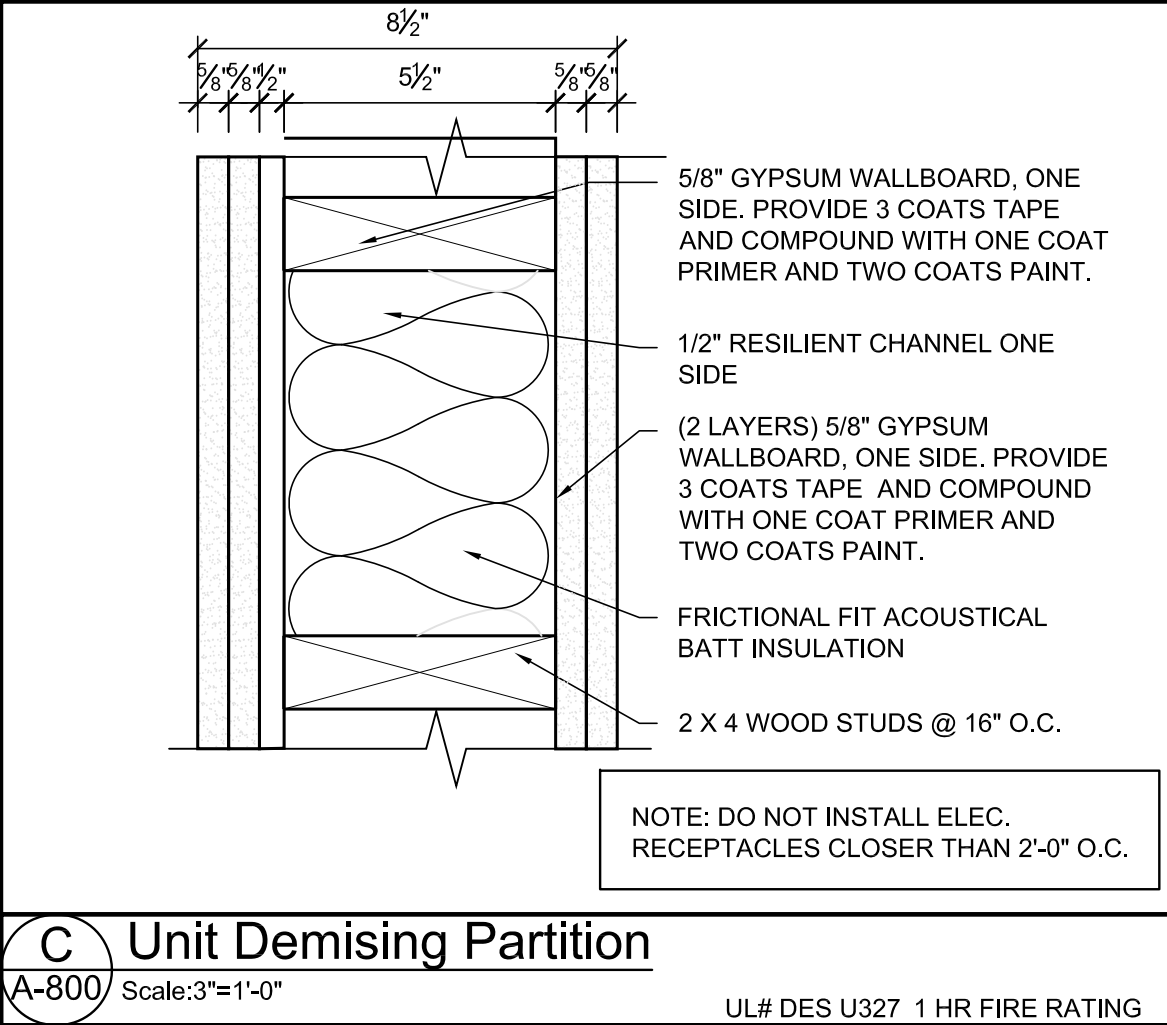
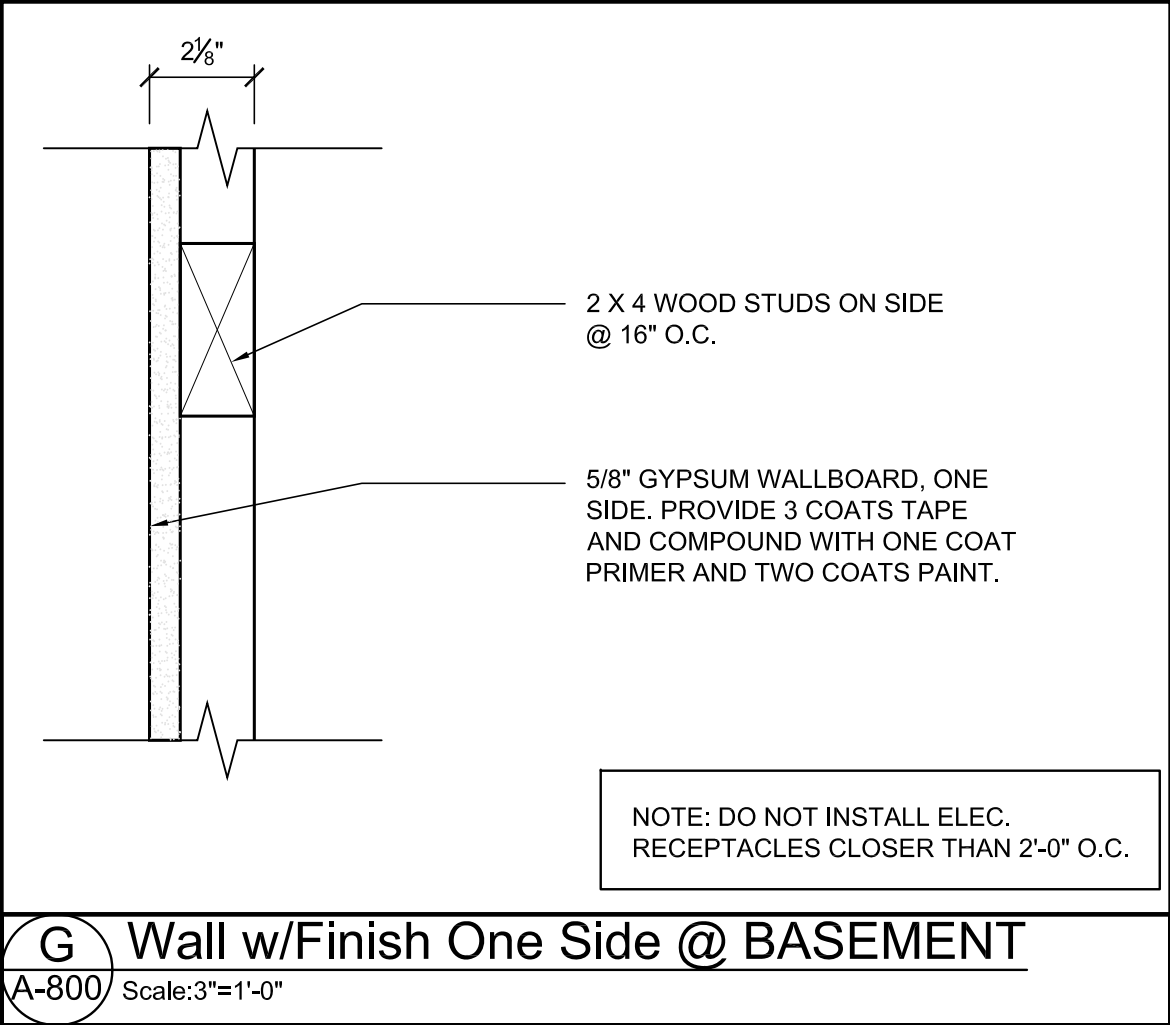
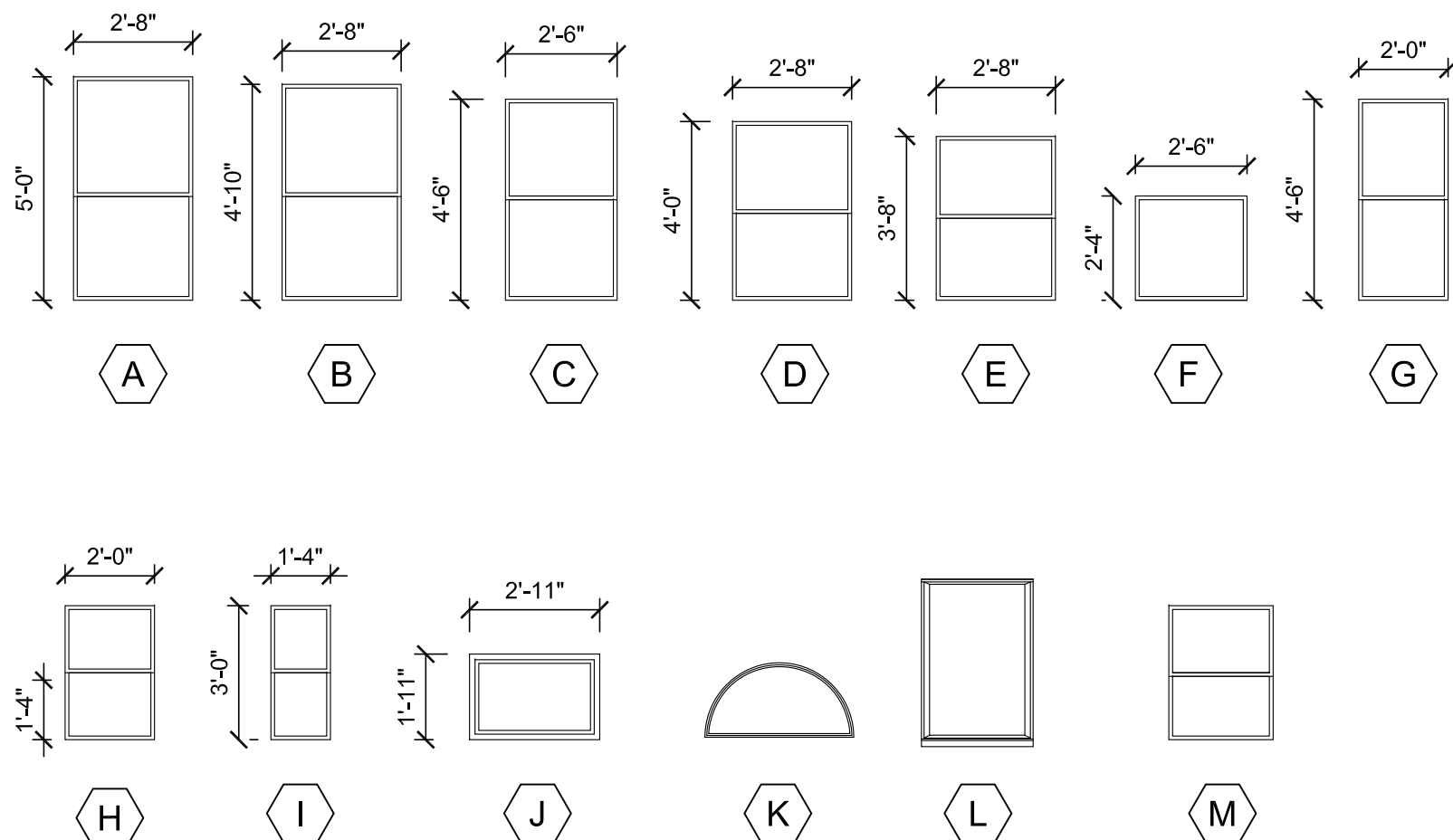
NOTE:

ALL ROUGH OPENINGS TO
BE VIF PRIOR TO FURNISH
& INSTALL

DOOR ELEVATIONS



WINDOW TYPES



PROJECT NAME
**SUMMER ST.
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SOMERVILLE, MA**

CLIENT
ED DOHERTY

ARCHITECT
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17 IVALOO STREET, SUITE 400
SOMERVILLE, MA 02143
TELEPHONE 617-591-8682 FAX: 617-591-2086

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REVISIONS		
No.	Description	Date
1	REVISION 1	05/16/2014
2	GENERAL REVISIONS	12/08/2014

PARTITION TYPES
& SCHEDULE

A-900

14032_139 SUMMER ST