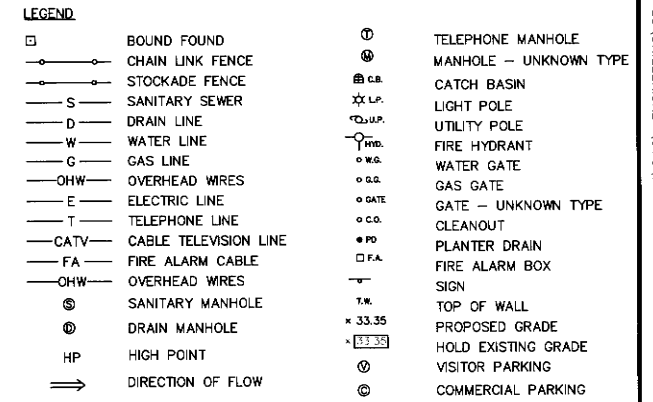
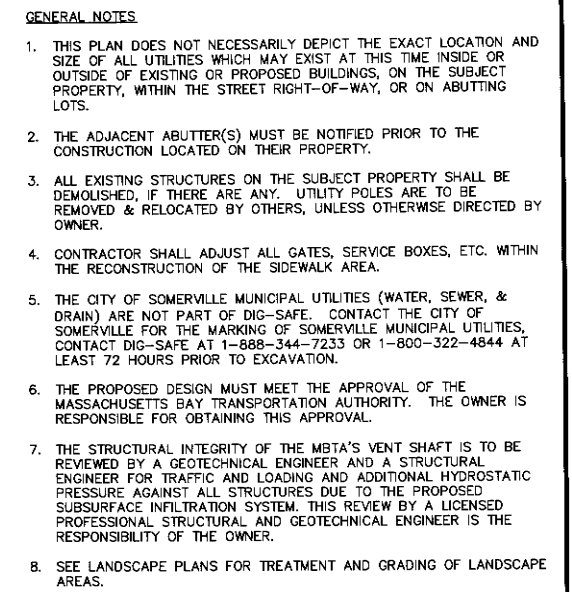
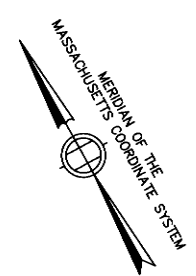






PLAN REFERENCE
"EXISTING CONDITIONS PLAN" PREPARED BY DESIGN CONSULTANTS, INC., DATED JUNE 30, 2009.

PIPE MATERIALS:

DOMESTIC WATER SERVICE: 4-INCH CONCRETE-LINED (DCL) CLASS 52 (MEP TO VERIFY)

FIRE SERVICE: 6-INCH CONCRETE-LINED (DCL) CLASS 52 (MEP TO VERIFY)

SEWER SERVICE: 6-INCH PVC ASTM D3034-SDR 35 MINIMUM SLOPE S=0.020

STORM DRAIN: PVC ASTM D3034-SDR 35, SIZE AS NOTED MINIMUM SLOPE S=0.010

PIPE COVER:

ALL WATER SERVICES AND WATER MAIN PIPING SHALL BE INSTALLED WITH A MINIMUM COVER OF FIVE (5) FEET THROUGHOUT.

THRUST BLOCKS:

CONCRETE THRUST BLOCKS TO BE USED ONLY WHERE IT WILL BEAR ON UNDISTURBED EARTH. USE RESTRAINED JOINT FITTINGS (MEGALUG OR APPROVED EQUAL) WHERE CONCRETE THRUST BLOCK IS UNACCEPTABLE. SIZE OF BLOCK OR MEGALUG TO BE DESIGNED FOR SPECIFIC CONDITIONS.

SEWER CLEANOUTS & INTERNAL SEWER SERVICES:

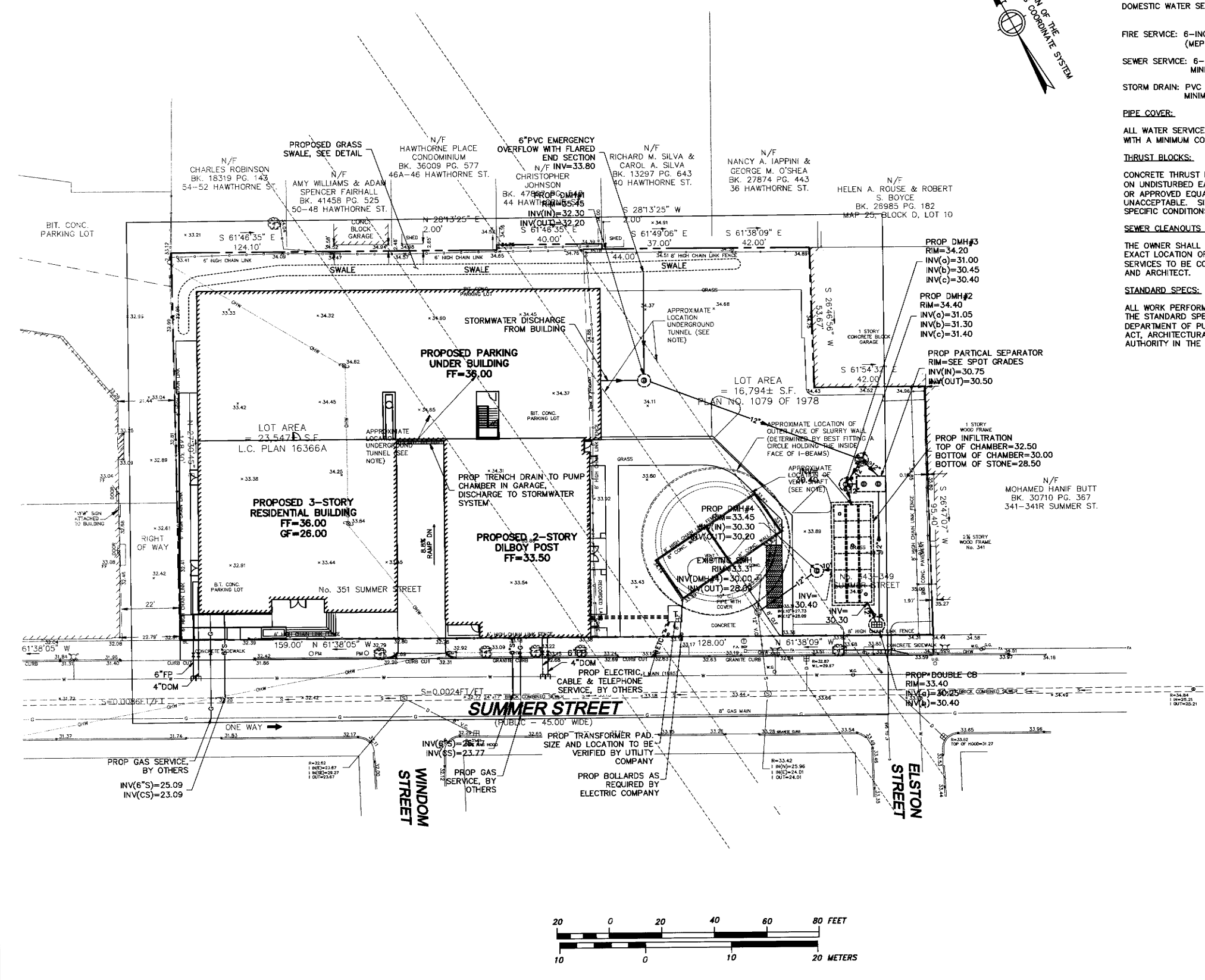
THE OWNER SHALL FURNISH AND INSTALL ALL SEWER CLEANOUTS. EXACT LOCATION OF ALL SEWER CLEANOUTS AND INTERNAL SEWER SERVICES TO BE CONFIRMED/COORDINATED BY MECHANICAL ENGINEER AND ARCHITECT.

STANDARD SPECS:

ALL WORK PERFORMED AS PART OF THIS PROJECT SHALL CONFORM TO THE STANDARD SPECIFICATIONS OF THE CITY OF SOMERVILLE, DEPARTMENT OF PUBLIC WORKS, THE AMERICAN'S WITH DISABILITIES ACT, ARCHITECTURAL ACCESS BOARD, AND ANY OTHER AGENCY WITH AUTHORITY IN THE AREA.

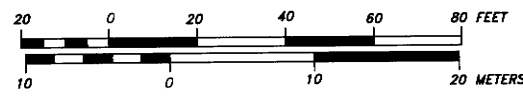
GENERAL NOTES:

- THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION AND SIZE OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME INSIDE OR OUTSIDE OF EXISTING OR PROPOSED BUILDINGS, ON THE SUBJECT PROPERTY, WITHIN THE STREET RIGHT-OF-WAY, OR ON ADJUTING LOTS.
- THE ADJACENT ABUTTER(S) MUST BE NOTIFIED PRIOR TO THE CONSTRUCTION LOCATED ON THEIR PROPERTY.
- ALL EXISTING STRUCTURES ON THE SUBJECT PROPERTY SHALL BE DEMOLISHED, IF THERE ARE ANY. UTILITY POLES ARE TO BE REMOVED & RELOCATED BY OTHERS, UNLESS OTHERWISE DIRECTED BY OWNER.
- ALL EXISTING UNDERGROUND UTILITIES SHALL BE ABANDONED, IF THERE ARE ANY, IN THEIR ENTIRETY, UP TO THE PROPERTY LINE, AND TO THE SPECIFICATIONS OF THE CITY OF SOMERVILLE. ABANDONMENT OF EXISTING CONNECTIONS SHALL BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE OWNERS.
- CUTTING AND CAPPING AT THE PROPERTY LINE FOR SAID UTILITIES AND REMOVAL/ABANDONMENT/CAPPING BEYOND THE PROPERTY LINE SHALL BE AS PER INSTRUCTED BY THE RESPECTIVE UTILITY COMPANY.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND RECORDING THE EXACT LOCATION OF EACH PROPOSED UTILITY CONNECTION.
- CONTRACTOR SHALL ADJUST ALL GATES, SERVICE BOXES, ETC. WITHIN THE RECONSTRUCTION OF THE SIDEWALK AREA.
- THE CITY OF SOMERVILLE MUNICIPAL UTILITIES (WATER, SEWER, & DRAIN) ARE NOT PART OF DIG-SAFE. CONTACT THE CITY OF SOMERVILLE FOR THE MARKING OF SOMERVILLE MUNICIPAL UTILITIES, CONTACT DIG-SAFE AT 1-888-344-7233 OR 1-800-322-4844 AT LEAST 72 HOURS PRIOR TO EXCAVATION.
- THE CONTRACTOR SHALL SUPPLY ALL PIPING, STRUCTURES, MATERIALS, AND APPURTENANCES, AND SHALL PERFORM ALL WET AND/OR DRY TAPS, AS PART OF HIS CONTRACT.
- NEW WATER SERVICES MUST BE LEFT SHUT OFF AT THE MAIN ON THE STREET UNTIL ACTIVATED BY THE CITY OF SOMERVILLE.
- A DYE TEST SHALL BE PERFORMED BY A CITY OF SOMERVILLE INSPECTOR PRIOR TO THE ISSUANCE OF AN OCCUPANCY PERMIT.
- THIS PLAN HAS BEEN PREPARED FOR THE APPROVAL OF THE DOMESTIC WATER SERVICE, FIRE PROTECTION WATER SERVICE, THE ON-SITE DRAINAGE FACILITIES AND THE SEWER SERVICE.
- THE RESPONSIBILITY OF OWNERSHIP AND MAINTENANCE OF THE SEWER, WATER, AND DRAIN CONNECTIONS ON PRIVATE PROPERTY AND/OR PRIVATE AND PUBLIC WAYS SHALL REMAIN THAT OF THE OWNER.
- THE CITY OF SOMERVILLE RESERVES THE RIGHT TO INSPECT ALL PRIVATE FACILITIES DISCHARGING TO MUNICIPAL FACILITIES.
- DURING EXCAVATION AND CONSTRUCTION OF PIPES AND STRUCTURES, TRENCHES MUST BE ADEQUATELY BRACED AND PROTECTED AGAINST CAVE-IN.
- ALL ROOF DRAINS WILL BE ROUTED THROUGH THE GARAGE, AND WILL LEAVE THE BUILDING AT THE POINT INDICATED ON THE PLAN (TO BE DESIGNATED BY OTHERS).
- THE PROPOSED DESIGN MUST MEET THE APPROVAL OF THE MASSACHUSETTS BAY TRANSPORTATION AUTHORITY. THE OWNER IS RESPONSIBLE FOR OBTAINING THIS APPROVAL.
- THE STRUCTURAL INTEGRITY OF THE MBTA'S VENT SHAFT IS TO BE REVIEWED BY A GEOTECHNICAL ENGINEER AND A STRUCTURAL ENGINEER FOR TRAFFIC AND LOADING AND ADDITIONAL HYDROSTATIC PRESSURE AGAINST ALL STRUCTURES DUE TO THE PROPOSED SUBSURFACE INFILTRATION SYSTEM. THIS REVIEW BY A LICENSED PROFESSIONAL STRUCTURAL AND GEOTECHNICAL ENGINEER IS THE RESPONSIBILITY OF THE OWNER.



LEGEND

- | | | | |
|--------|-----------------------|----|------------------------|
| □ | BOUND FOUND | ⊙ | TELEPHONE MANHOLE |
| —○— | CHAIN LINK FENCE | ⊙ | MANHOLE - UNKNOWN TYPE |
| —●— | STOCKADE FENCE | ⊙ | CATCH BASIN |
| —S— | SANITARY SEWER | ⊙ | LIGHT POLE |
| —D— | DRAIN LINE | ⊙ | UTILITY POLE |
| —W— | WATER LINE | ⊙ | FIRE HYDRANT |
| —G— | GAS LINE | ⊙ | WATER GATE |
| —OH— | OVERHEAD WIRES | ⊙ | GAS GATE |
| —E— | ELECTRIC LINE | ⊙ | GATE - UNKNOWN TYPE |
| —T— | TELEPHONE LINE | ⊙ | CLEANOUT |
| —CATV— | CABLE TELEVISION LINE | ⊙ | PLANTER DRAIN |
| —FA— | FIRE ALARM CABLE | ⊙ | FIRE ALARM BOX |
| —OH— | OVERHEAD WIRES | ⊙ | SIGN |
| ⊙ | SANITARY MANHOLE | ⊙ | TOP OF WALL |
| ⊙ | DRAIN MANHOLE | ⊙ | PROPOSED GRADE |
| ○/F | OVERFLOW | ⊙ | HOLD EXISTING GRADE |
| ⇒ | DIRECTION OF FLOW | HP | HIGH POINT |



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120 MIDDLESEX AVENUE SUITE 20
SOMERVILLE, MA 02145
(617) 778-3950

SCALE:
HORIZ: 1" = 20'
VERT: _____

NO.	DATE	BY	REVISIONS

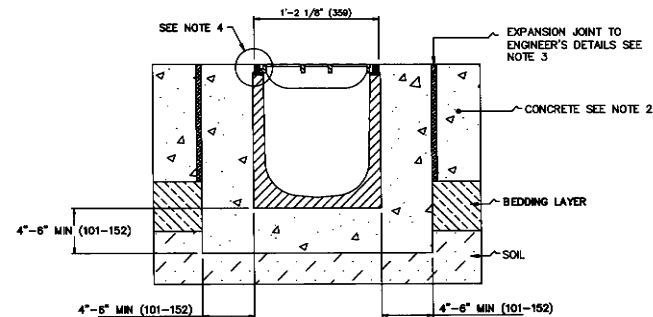
DESIGNED: RB
DRAFTED: RB
CHECKED: DG
APPROVED: DG

PERMIT UTILITY PLAN

343-351 SUMMER STREET

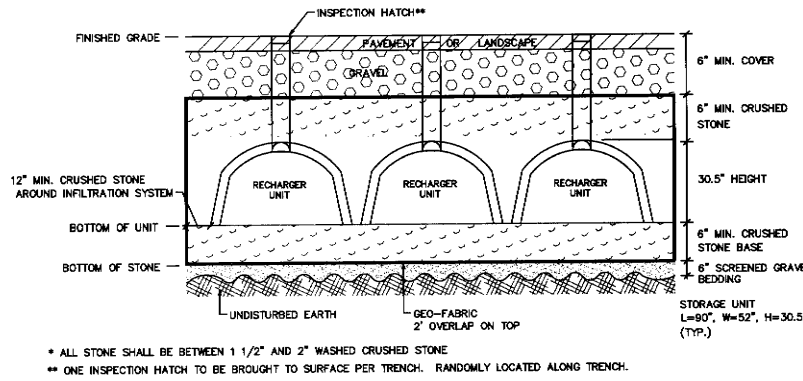
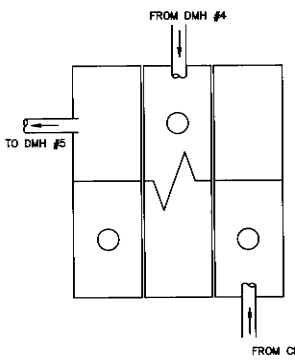
PLAN OF LAND IN
SOMERVILLE, MASSACHUSETTS
PREPARED FOR
STRATEGIC CAPITAL GROUP, LLC

PROJECT NO.
2008-038
DATE: NOV. 17, 2011
SHEET NO.
C2



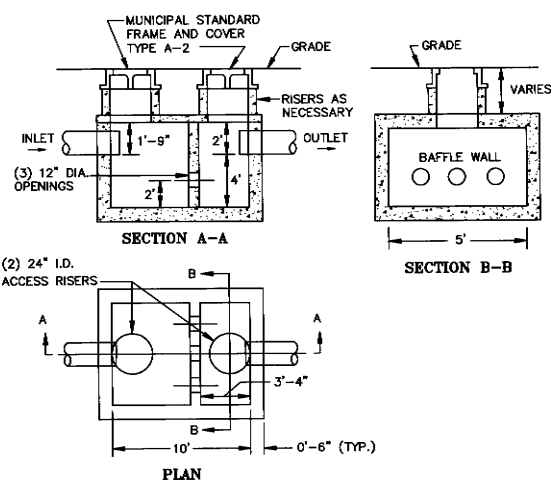
NOTES:
 1. IT IS NECESSARY TO ENSURE THE MINIMUM DIMENSIONS SHOWN ARE SUITABLE FOR THE EXISTING GROUND CONDITIONS. *ENGINEERING ADVICE MAY BE REQUIRED.*
 2. A MINIMUM CONCRETE STRENGTH OF 3000 PSI IS RECOMMENDED. THE CONCRETE SHOULD BE VIBRATED TO ELIMINATE AIR POCKETS.
 3. EXPANSION AND CRACK CONTROL JOINTS ARE RECOMMENDED TO PROTECT THE CHANNEL AND THE CONCRETE SURROUND. *ENGINEERING ADVICE MAY BE REQUIRED.*
 4. THE FINISHED LEVEL OF THE CONCRETE SURROUND MUST BE APPROX. 1/8" (3) ABOVE THE TOP OF THE CHANNEL EDGE.
 5. REFER TO SMITH/ACO'S LATEST INSTALLATION INSTRUCTIONS FOR COMPLETE DETAILS.

TRENCH DRAIN
 NOT TO SCALE

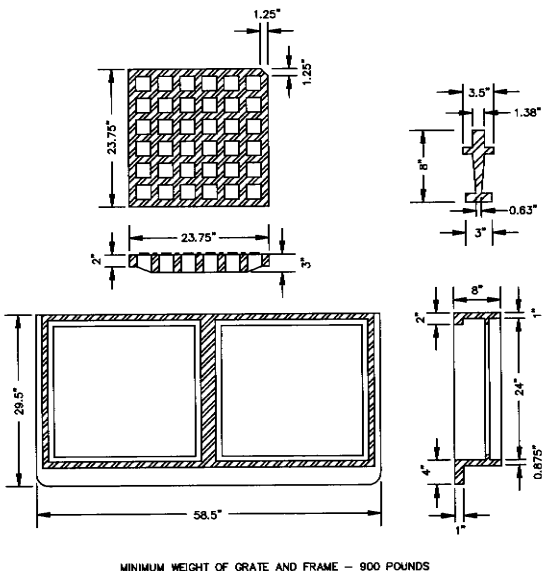


* ALL STONE SHALL BE BETWEEN 1 1/2" AND 2" WASHED CRUSHED STONE
 ** ONE INSPECTION HATCH TO BE BROUGHT TO SURFACE PER TRENCH. RANDOMLY LOCATED ALONG TRENCH.

INFILTRATION CHAMBERS
 NOT TO SCALE

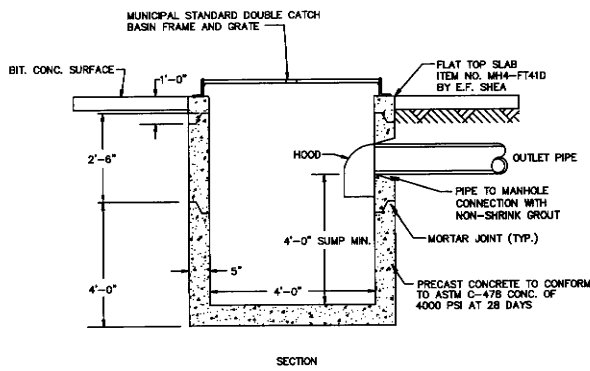


TYPICAL INLINE PARTICLE SEPARATOR
 1,500 GALLON CAPACITY - H2O
 NOT TO SCALE

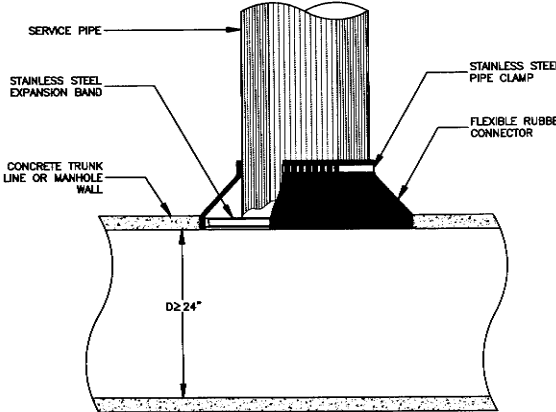


MINIMUM WEIGHT OF GRATE AND FRAME - 900 POUNDS

DOUBLE CATCH BASIN GRATE AND FRAMES
 NOT TO SCALE

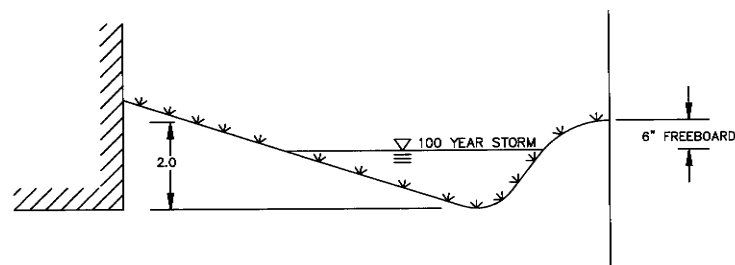


FLAT TOP CATCH BASIN WITH HOODED OUTLET
 NOT TO SCALE

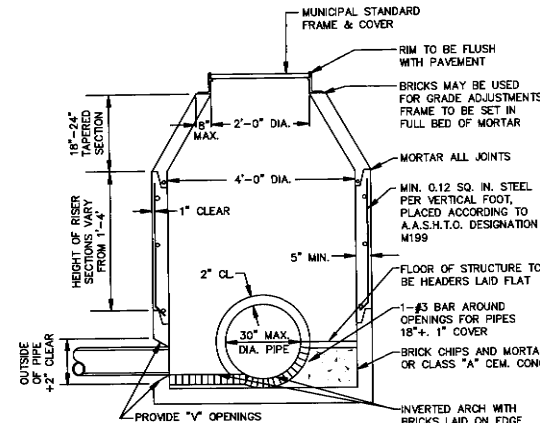


NOTES:
 1. OPENING IN CONCRETE WALL SHALL BE CORED USING HIGH SPEED DIAMOND DRILL.
 2. ALL METAL FIXTURES SHALL BE OF STAINLESS STEEL.
 3. SERVICE LINE SHALL BE FLUSH WITH THE INSIDE OF THE CONCRETE PIPE OR WALL.
 4. IF TRUNK LINE DIAMETER IS LESS THAN 24", THEN A SADDLE TYPE CONNECTION WILL BE USED.

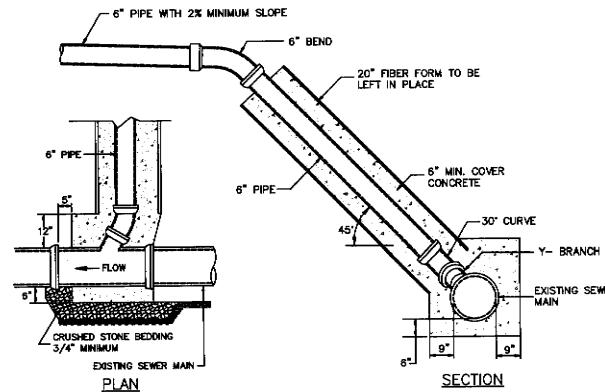
TYPICAL FIELD CONNECTION TO LARGE CONCRETE PIPE OR MANHOLE
 NOT TO SCALE



WET WATER QUALITY SWALE
 NOT TO SCALE



PRECAST CONCRETE DRAIN MANHOLE
 NOT TO SCALE



SEWER CHIMNEY WITH 45° CONNECT TO EXISTING SEWER
 NOT TO SCALE

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NO.	DATE	BY	REVISIONS

DESIGNED: RB
 DRAFTED: RB
 CHECKED: DG
 APPROVED: DG

DETAILS SHEET 1

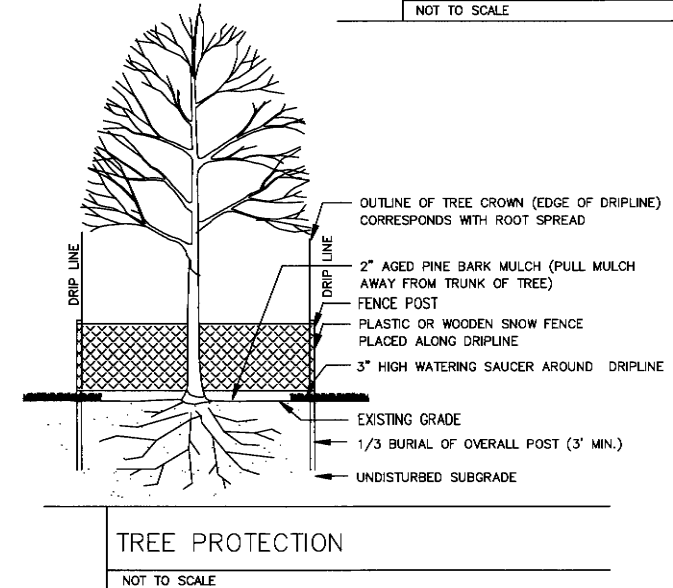
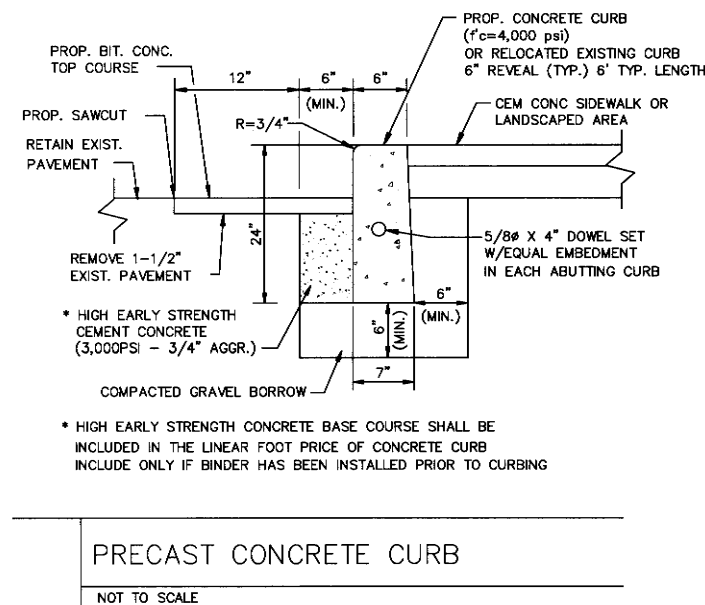
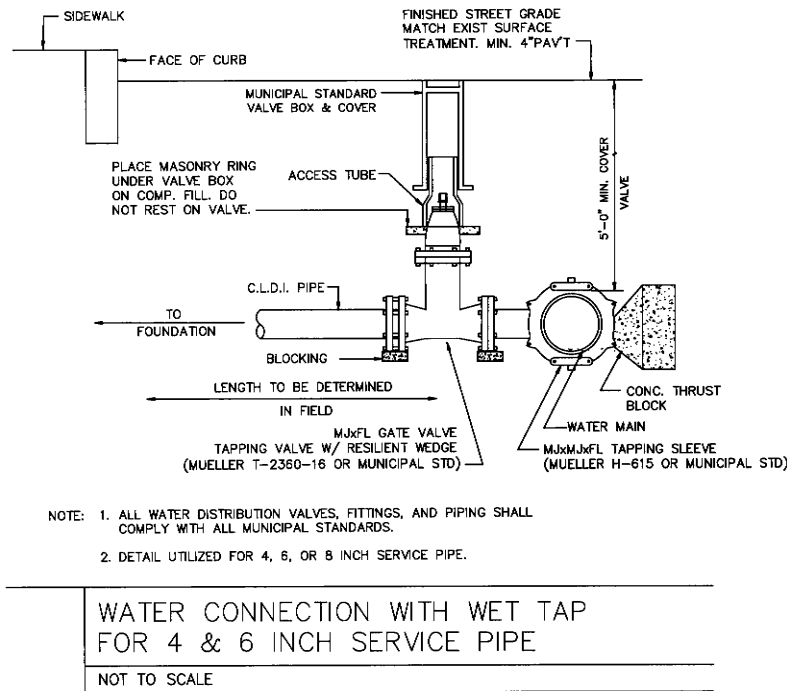
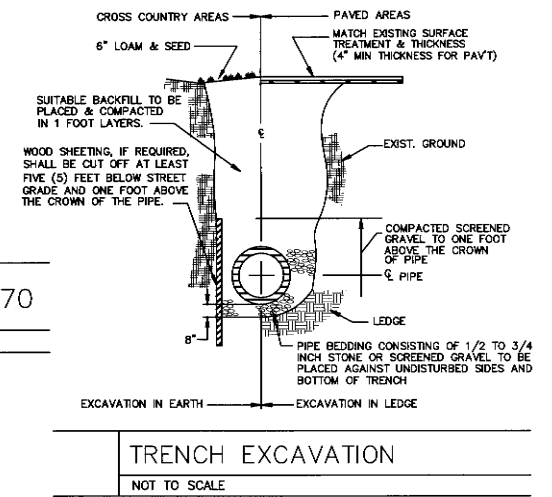
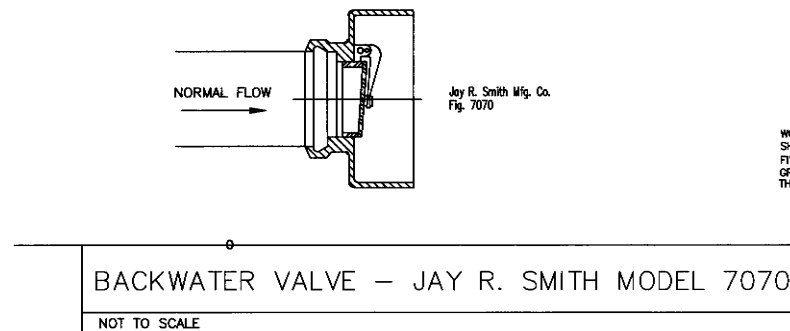
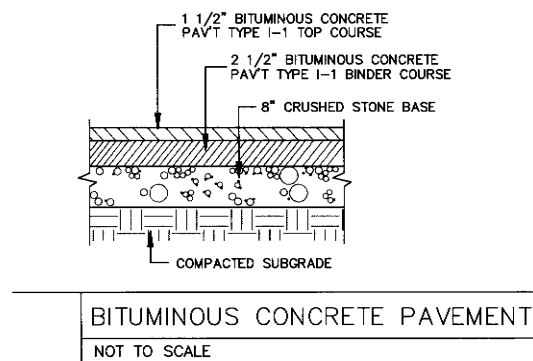
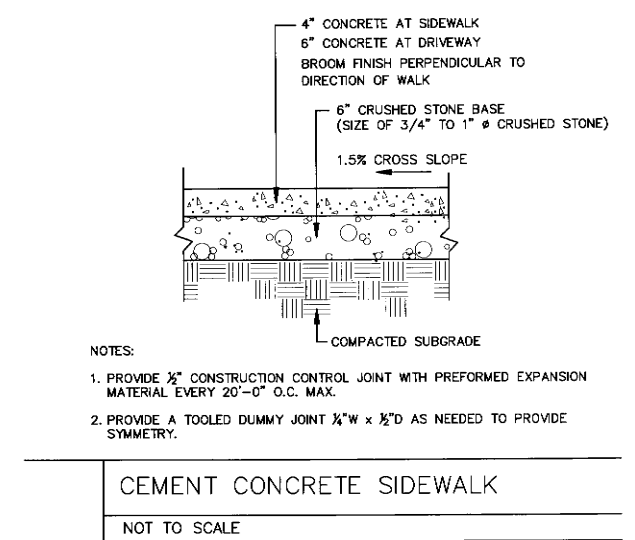
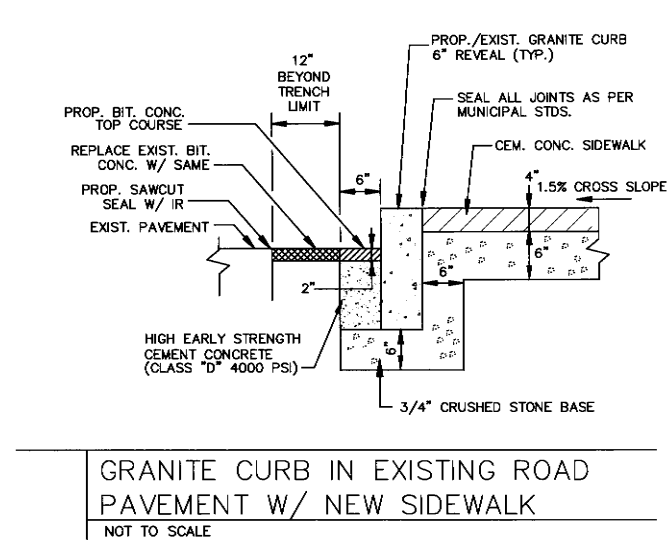
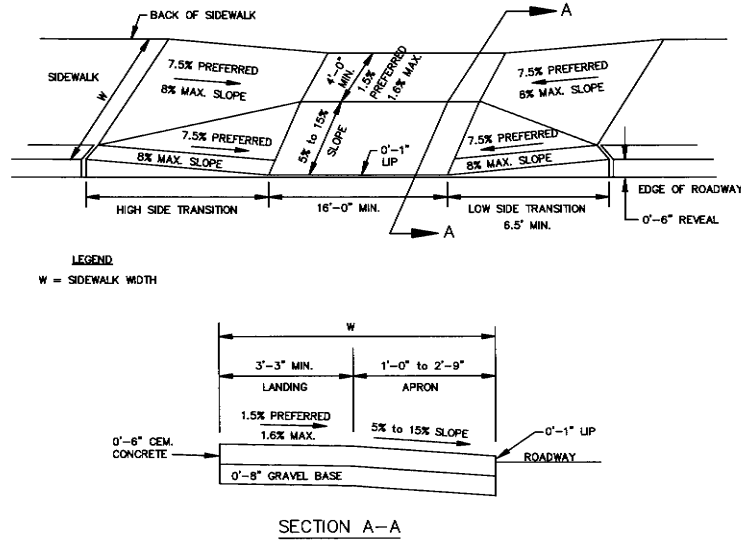
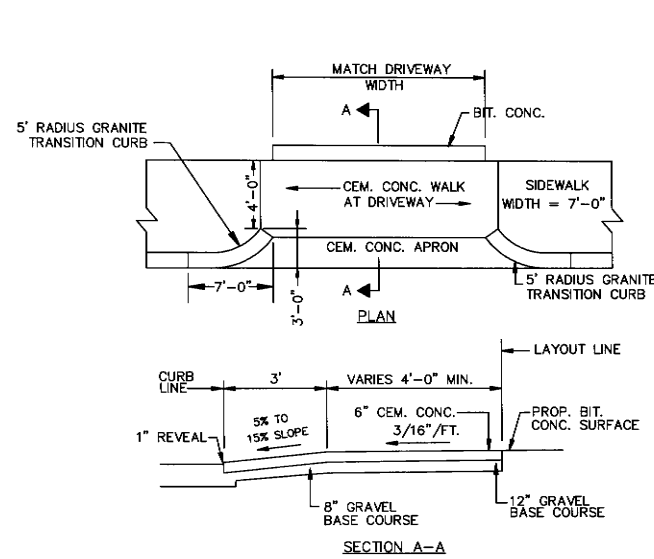
343-351 SUMMER STREET

PLAN OF LAND IN
 SOMERVILLE, MASSACHUSETTS
 PREPARED FOR
 STRATEGIC CAPITAL GROUP, LLC

PROJECT NO.
 2008-038
 DATE: JUNE 24, 2011
 SHEET NO.
 C3

2011 NOV 18 PM 1:08

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 PLANNING DEPT.
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 PROJECTS\2008-038-038 351 SUMMER ST SOMERVILLE\DWG\ENGINEERING\08-038 SP 2011.DWG/1/2011 9:35 AM



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120 MIDDLESEX AVENUE SUITE 20
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DESIGNED: RB
DRAFTED: RB
CHECKED: DG
APPROVED: DG

DETAILS SHEET 2

343-351 SUMMER STREET

PLAN OF LAND IN
SOMERVILLE, MASSACHUSETTS
PREPARED FOR
STRATEGIC CAPITAL GROUP, LLC

PROJECT NO.
2008-038
DATE: JUNE 24, 2011
SHEET NO.
C4

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PLANNING DEPT.
P:\2008\PROJECTS\2008-038 351 SUMMER ST SOMERVILLE\DWG\ENGINEERING\08-038 SP 2011.DWG/7/1/2011 9:35 AM

GENERAL NOTES

- All contractors shall inspect site prior to bidding to verify existing conditions for themselves.
- The Contractor shall supply all plant material in quantities sufficient to complete the planting shown on the drawings.
- All plant material shall conform to the guidelines established by "The American Standard for Nursery Stock", published by the American Association of Nurserymen, Inc. ANSI Z60.1-Current Edition.
- All plants to be balled in burlap or container grown. No plastic burlap.
- All plants to be approved by the Landscape Architect.
- Stake location of all proposed plant material for approval of Landscape Architect prior to commencement of planting.
- The landscape contractor shall guarantee all plant materials for one (1) full year from date of acceptance.
- Heal all construction scars with lawn or mulch, as indicated by drawings and/or Landscape Architect.
- Street Trees shall remain and have installed in a 4'x4' ADA compliant tree grate.

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
EVERGREEN TREES						
PS	5	PRUNUS STIMULUS	EASTERN WHITE PINE	10-12"	BAB	NATURAL SHAPE, UNHEADED
TS	5	THUJA O. SPANISH	EMERALD GREEN ARBORVITAE	5-6"	BAB	NATURAL SHAPE, UNHEADED
TA	12	THUJA P. 'NORONDI'	ARBOREUS QUART ARBORVITAE	10-12"	BAB	NATURAL SHAPE, UNHEADED
DECIDUOUS AND ORNAMENTAL TREES						
AO	5	AMELANCHIER GRANDIFLORA 'VIGOR HILL'	ROSE HILL SERVICEBERRY	8-7"	BAB	(1) 4" STEM CLUMP
AC	5	AMELANCHIER CANADENSIS	SERVICEBERRY	10-12"	BAB	(3) STEM CLUMP SPECIMEN
UD	1	VELUTARIA 'VERITATE'	HERNIMUS RIVER BIRCH	5-7"	BAB	(3) STEM CLUMP SPECIMEN
ST	3	QUERCUS TRUNCATUM 'STYLINE'	SKYLINE HONEYLOCUST	3 1/2"	BAB	STRAIGHT SINGLE LEADER SPECIMEN
PA	1	PLATANUS ACERIFOLIA 'BLOODGOOD'	BLOODGOOD LONDON PLANETREE	2 1/2 - 3"	BAB	STRAIGHT SINGLE LEADER SPECIMEN
SHRUBS						
M	1	ILEX X. MESSENGER 'BLUE PRINCESS'	BLUE PRINCESS HOLLY	5-4"	BAB	SPECIMEN FEMALE
DC	45	ILEX GLABRA 'COMPACTA'	LOW GROWING	2 1/2-3"	BAB	
ND	10	PHODODENDRON 'MOLE DE NEIGE'	MOLE DE NEIGE PHODODENDRON	2 1/2-3"	BAB	
PM	5	PHODODENDRON 'TAM'	PAN PHODODENDRON	2 1/2-3"	BAB	
JS	30	JAMPELUS C. 'SANGRENT'	SANGRENT JAMPELUS	18 - 24"	BAB	
PERENNIALS AND GROUNDCOVER						
NI	34	HEMIOCALLIS 'HAPPY RETURNS'	HAPPY RETURNS GAYLARDIA	6"	6"	
IS	14	IRIS SIBERICA 'CAESARS BROTHER'	CAESARS BROTHERS IRIS	6"	6"	
VM	58	VIOLA MINOR	PERENNIAL	FLAT	FLAT	FLAT=50 FT (2/20)

OPEN SPACE:			
TOTAL PROPERTY	RA=16,805 SQ/FT	CBD=23.511 SQ/FT	TOTAL=40,316 SQ/FT
LANDSCAPE AREA	RA=6,650 SQ/FT	CBD=3,330 SQ/FT	TOTAL=9,935 SQ/FT
LANDSCAPE AREA RATIO REQUIRED	RA=25%	CBD=10%	
LANDSCAPE AREA RATIO PROPOSED	RA=39.57%	CBD=14.16%	TOTAL=24.64%

GRAPHIC LEGEND

- EXISTING VEGETATION TO REMAIN
- EXISTING TREES TO REMAIN
- PROPOSED EVERGREEN TREES
- PROPOSED DECIDUOUS SHADE TREES / STREET TREES
- PROPOSED ORNAMENTAL & FLOWERING TREES
- PROPOSED EVERGREEN & DECIDUOUS SHRUBS
- PROPOSED PERENNIALS
- SPECIAL PAVING
- EVERGREEN GROUNDCOVER
- DROUGHT TOLERANT PLANTS
- TURF GRASS PAVERS
- 4' / 6' HIGH PERIMETER ACOUSTIC PRIVACY FENCE W/ 2" HIGH PICKET TOPPER / 6' HIGH PRIVACY FENCE W/ NO TOPPER (4' HIGH FENCE NO LATTICE TOPPER)
- WALL MOUNTED CUT-OFF HORIZONTAL LIGHT FIXTURE 100 W HPS
- 12' HIGH POLE HIGH CUT-OFF LIGHT FIXTURE 150 W HPS

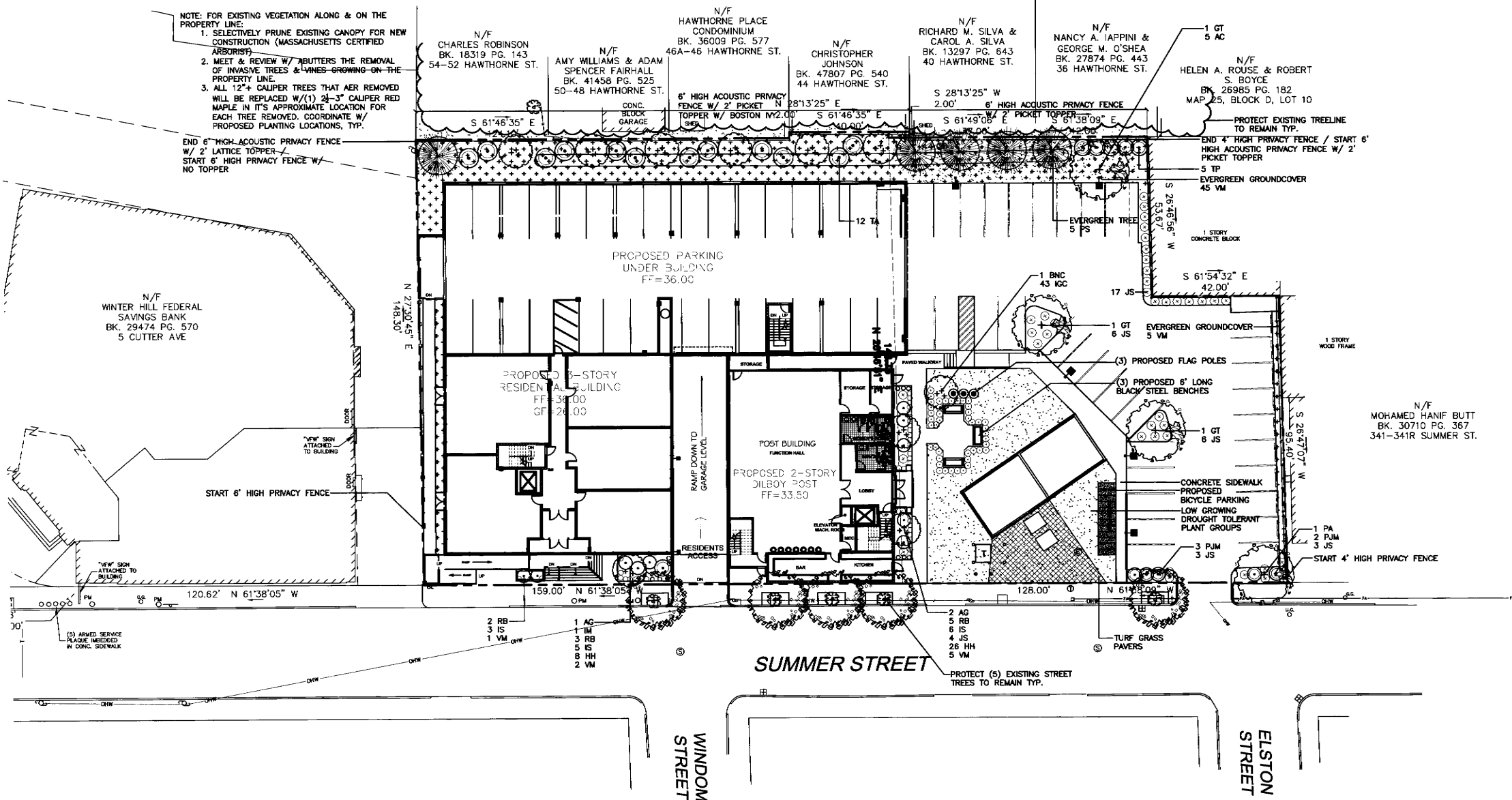
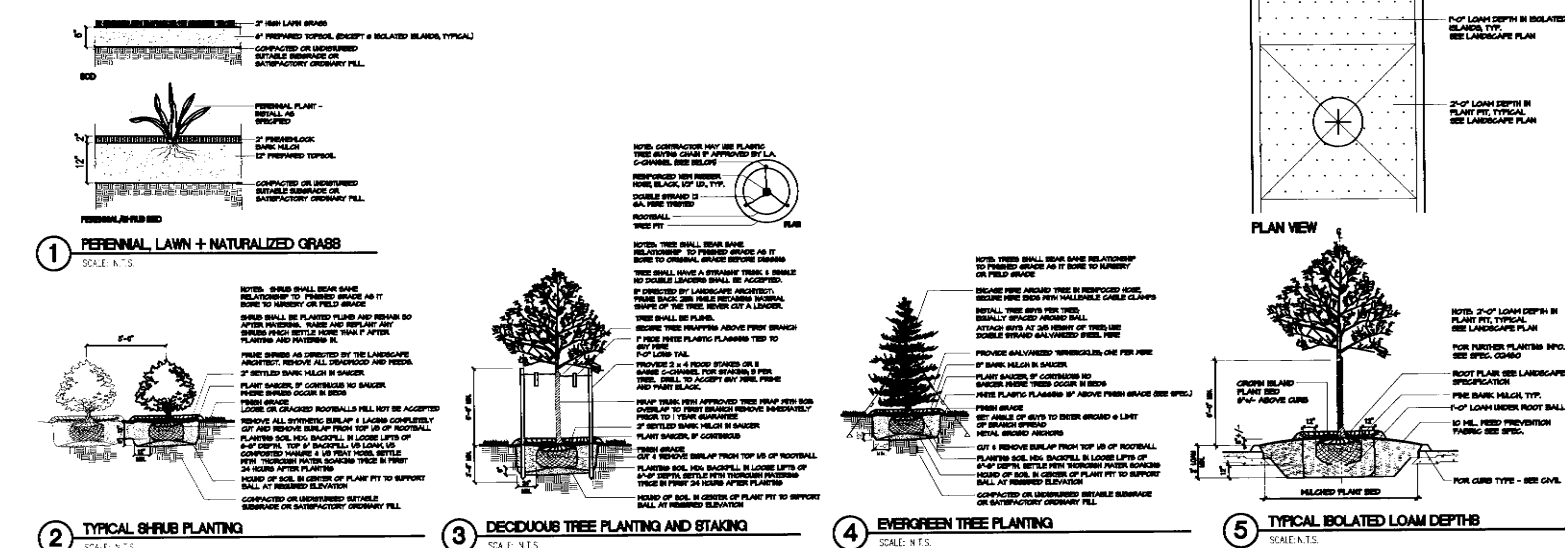
LANDSCAPE NOTES:

LOAM DEPTHS SHALL BE AS FOLLOWS:

- LAWN AREAS - 6" ROLLED THICKNESS
- PLANT BEDS - 1'-0" LOAM DEPTH IN THE PLANTED AREA WITH 2" MULCH
- ISOLATED PLANTED ISLANDS - 1'-0" LOAM DEPTH

SITE LIGHTING

Due to the urban nature of the site, lighting levels have been designed as minimal and offer the motorist direction in and out of the project site. Light levels at the parking areas have been increased due to the increase of motorist and pedestrian activity. Lighting levels will be augmented by Architectural wall mounted / soffit lighting on the Buildings. All site fixtures are to have High Cut-Off Optics with house shields where required.



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GRANDE SPAULDING BUILDING
120 MIDDLESEX AVENUE SUITE 20
SOMERVILLE, MA 02145
(617) 776-3350

WILLIAM FLEMING ASSOCIATES
LANDSCAPE ARCHITECTURE
PLANNING

1 Central Square
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Roslindale, MA 02126
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SCALE:
HORIZ: 1" = 20'

NO.	DATE	BY	REVISIONS



DESIGNED: WFA
DRAFTED: WFA
CHECKED: WFA
APPROVED: WFA

LANDSCAPE PLAN

343-351 SUMMER STREET

PLAN OF LAND IN
SOMERVILLE, MASSACHUSETTS
PREPARED FOR
STRATEGIC CAPITAL GROUP LLC

PROJECT NO.
2008-038
DATE:
NOVEMBER 18, 2011
SHEET NO.
1 OF 1

HEIGHT SETBACK IN CBD TO RA ZONE
SECTION 8.6-20. HEIGHT LIMIT FOR STRUCTURES ABUTTING RESIDENTIAL DISTRICTS: WHERE A LOT ABUTS AN RA, RB OR RC ZONING DISTRICT LINE, ANY STRUCTURE (OR PORTION OF A STRUCTURE) WITHIN THIRTY (30) FEET OF SAID DISTRICT LINE SHALL BE LIMITED TO THREE (3) STORIES AND FORTY (40) FEET IN HEIGHT

REAR SETBACK IN CBD ZONE
SECTION 8.5 10 FT PLUS 2 FT PER STORY OVER FIRST FLOOR EQUALS 14 FEET,
SECTION 8.6 FOOTNOTE 12 WHEN A BUSINESS ZONE ABUTS A RESIDENTIAL ZONE THEN
1/3 HEIGHT MINIMUM 15 FEET SO $39/3 = 13$ FEET, SO 15 FEET MINIMUM REQUIRED

REAR SETBACK IN RA ZONE
SECTION 8.5 20 FT
SECTION 8.6 14 PROJECTIONS INTO REAR YARDS
CAN BE 1/4 REAR SETBACK [OR 5 FT] BUT IN NO CASE
LESS THAN 10 FT SETBACK.

Schedule of Parking Spaces for 343-351 Summer Street

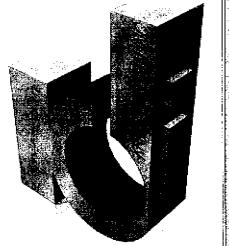
	res units	pkg req	total req	total provided
Parking for Residential in Garage				
studios	2	1	2	
1-bedroom units	5	1.5	7.5	
2-bedroom units	22	1.5	33	
	29		43	45
visitor parking (surface) - 1/6 units				
			5	5
Parking for Dilboy Post Building				
assembly space in sf	2,475			
seating capacity - 155/person	165			
parking required - 1/6 people			28	42
Commercial Parking				
				15
total parking			75	107
Parking Stall Sizes				
full size - 9' x 18'			57	76
compact			15	28
handicap parking			4	4
			76	108

PROJECT NAME
**Summer Street
Residences**

PROJECT ADDRESS
351 Summer Street
Somerville MA 02143

CLIENT
**Strategic Capital
Group, LLC.**

ARCHITECT
KHALSA DESIGN INC.



17 WALDO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REVIEWED
DATE 11-18-2011
DRAWN BY KK
CHECKED BY JSK
SCALE 1/16" = 1'-0"

REGISTRATION

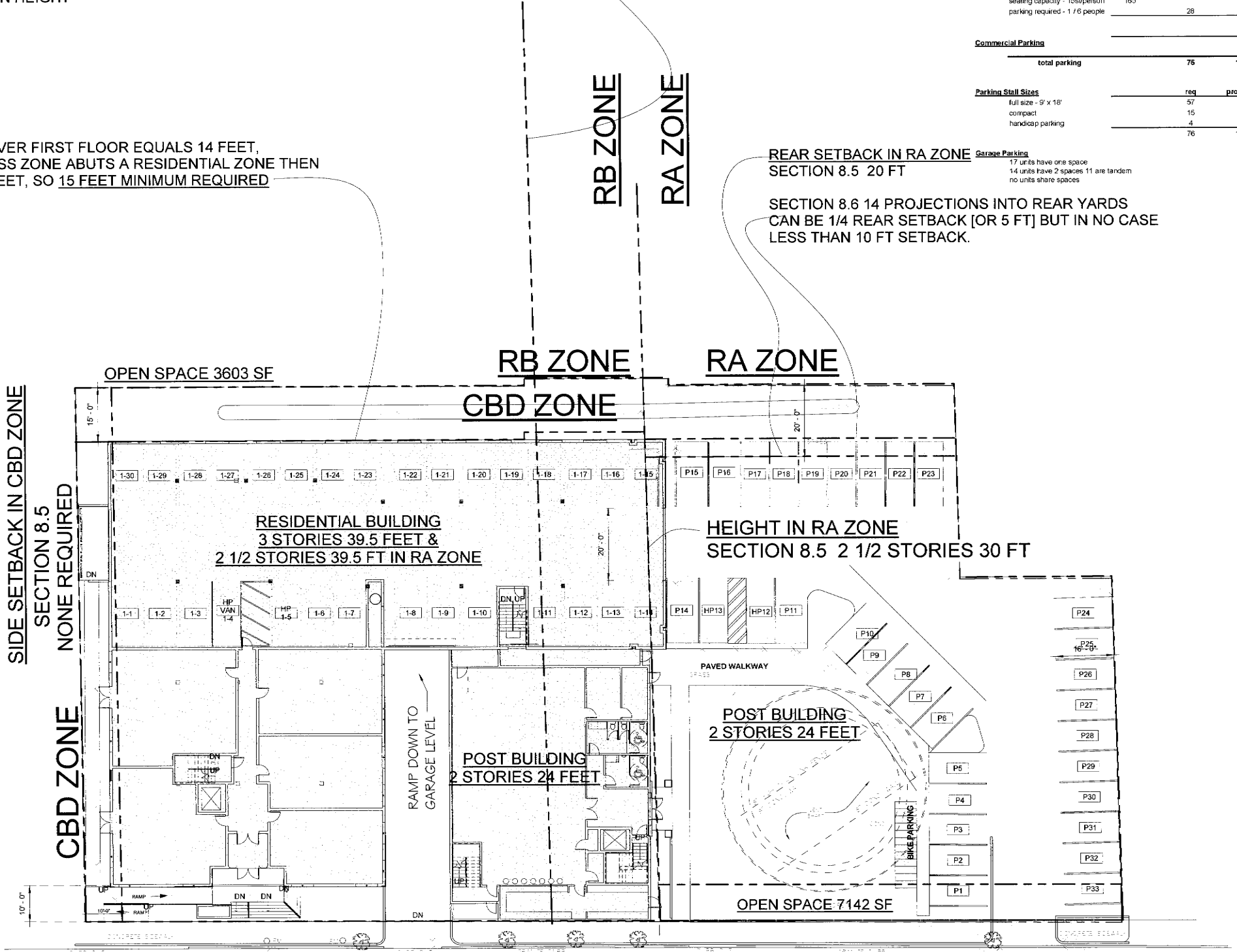


Project number 11006
Date 11-18-2011
Drawn by KK
Checked by JSK
Scale 1/16" = 1'-0"

No.	Description	Date

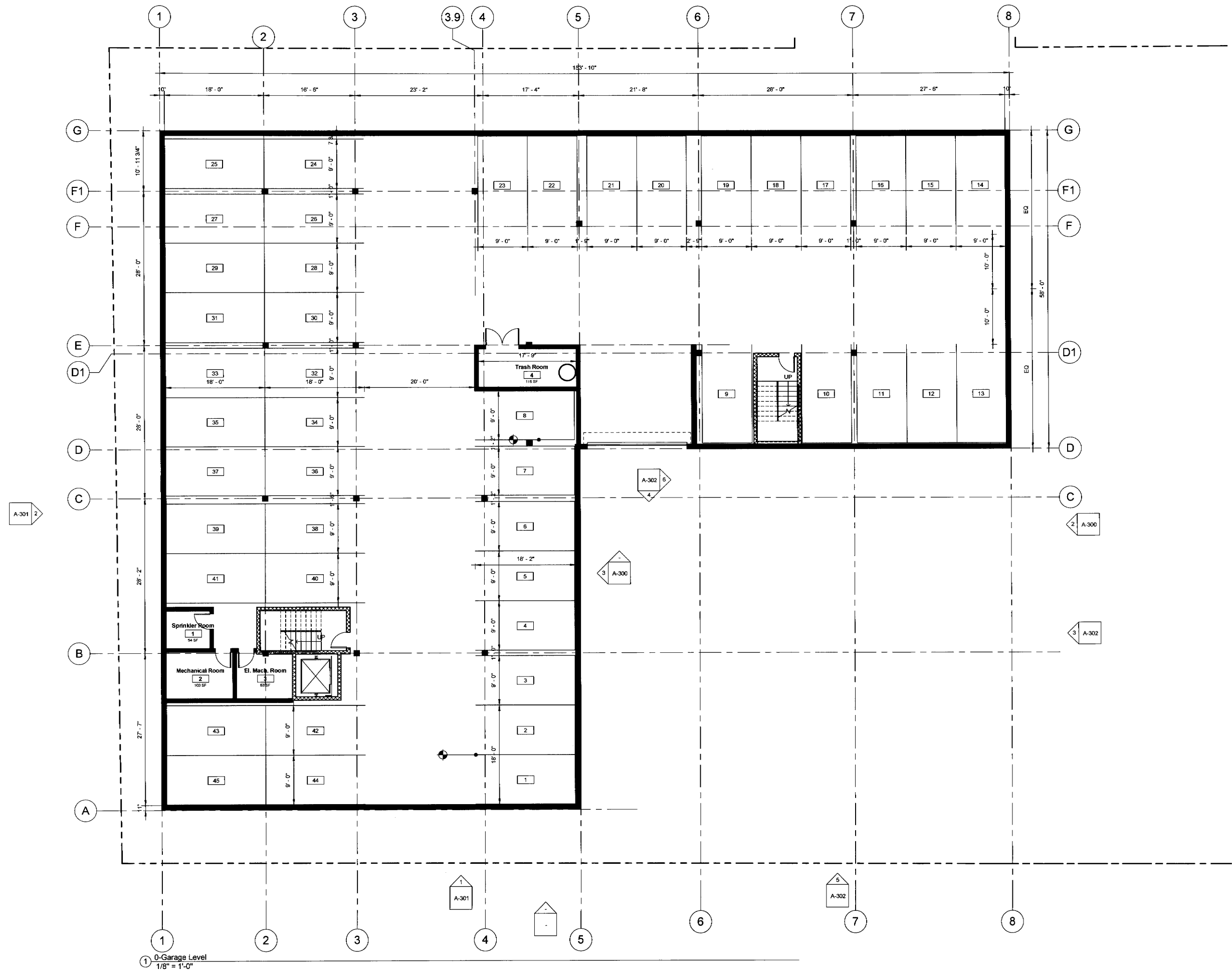
Zoning Site Plan

.AZ-010
Summer Street Residences



COVERAGE
CBD 17,757 / 23,511 SF (lot area) = 74.8% : 80% ALLOWED
RA 281 SF / 16,805 SF (lot area) = 1.6% : 50% ALLOWED
TOTAL COVERAGE 18,030 / 40,316 SF (lot area) = 44.7% PROVIDED

OPEN SPACE
CBD 3603 / 23,511 SF (lot area) = 15.3% : 10% REQUIRED
RA 7258 / 16,805 (lot area) = 43.1% : 25% REQUIRED
TOTAL COMBINED 3603 + 7258 SF = 10,861 SF OR 26.9% PROVIDED



1 0-Garage Level
1/8" = 1'-0"

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TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

S.P.D. AND
PLANNING DEPT.
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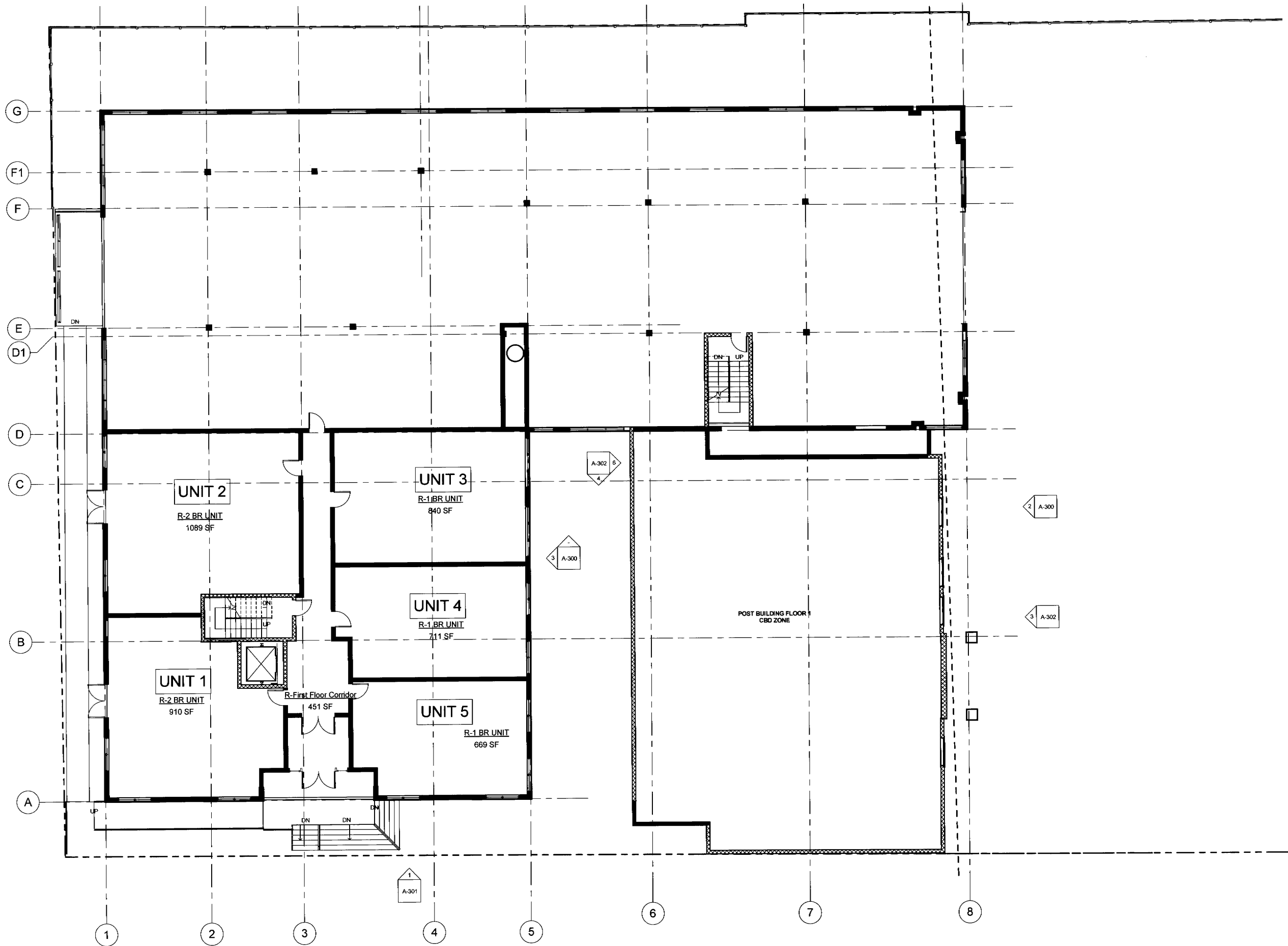
REGISTRATION

Project number 11006
Date 11-18-2011
Drawn by KK
Checked by JSK
Scale 1/8" = 1'-0"

REVISIONS		
No.	Description	Date

Garage Floor Plan

A-100
Summer Street Residences



1 1st Floor Level
1/8" = 1'-0"

PROJECT NAME
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ARCHITECT
KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8882 FAX: 617-591-2086

CONSULTANTS:

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REGISTRATION



Project number 11006
Date 11-18-2011
Drawn by KK
Checked by JSK
Scale 1/8" = 1'-0"

REVISIONS

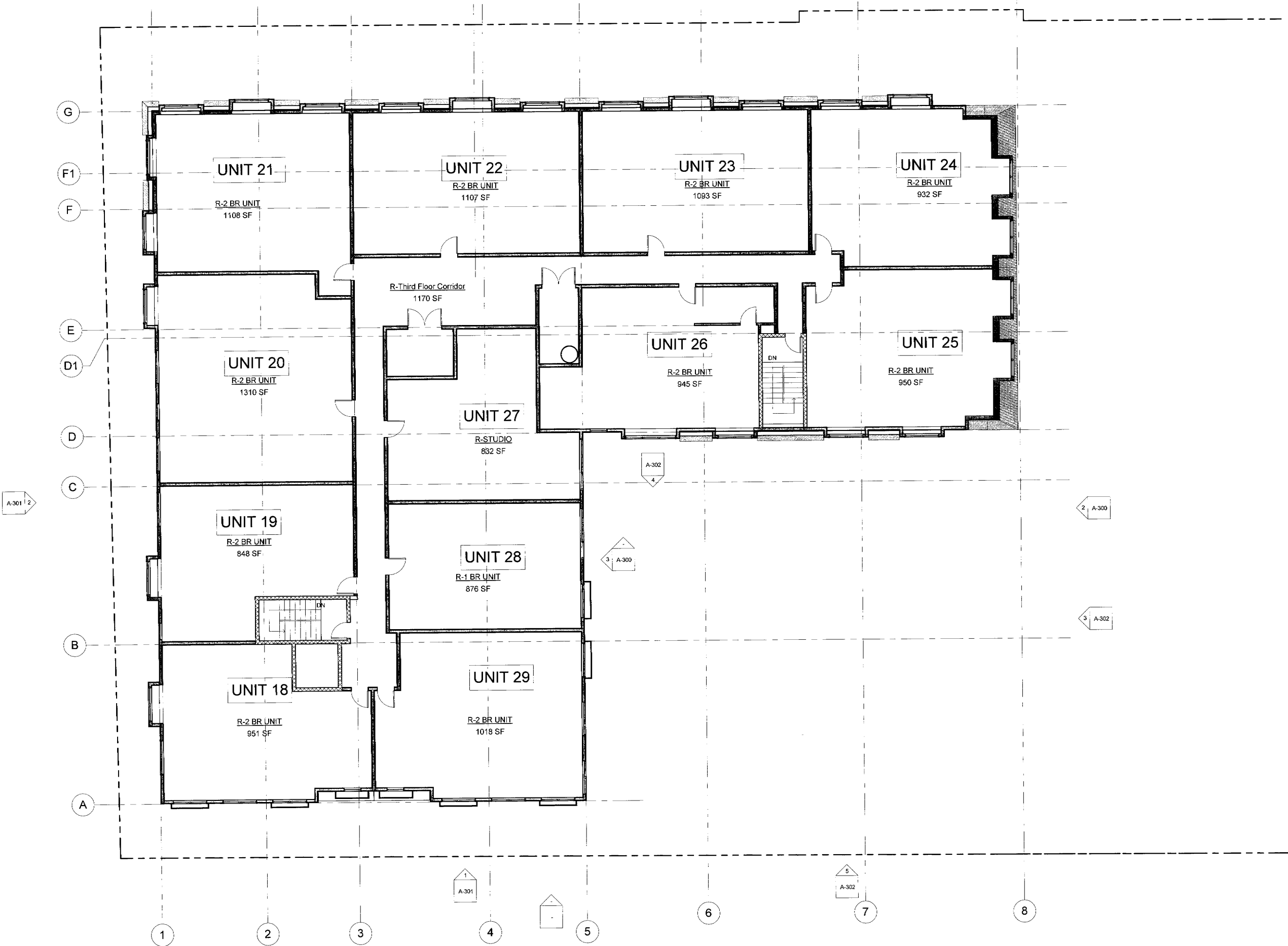
No.	Description	Date

1st Floor Plan

A-101

Summer Street Residences

① 2nd Floor Level
1/8" = 1'-0"



① 3rd Floor Level
1/8" = 1'-0"

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**Summer Street
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ARCHITECT
KHALSA DESIGN INC.



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TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

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SOMERVILLE, MA

REGISTRATION



Project number 11006
Date 11-18-2011
Drawn by KK
Checked by JSK
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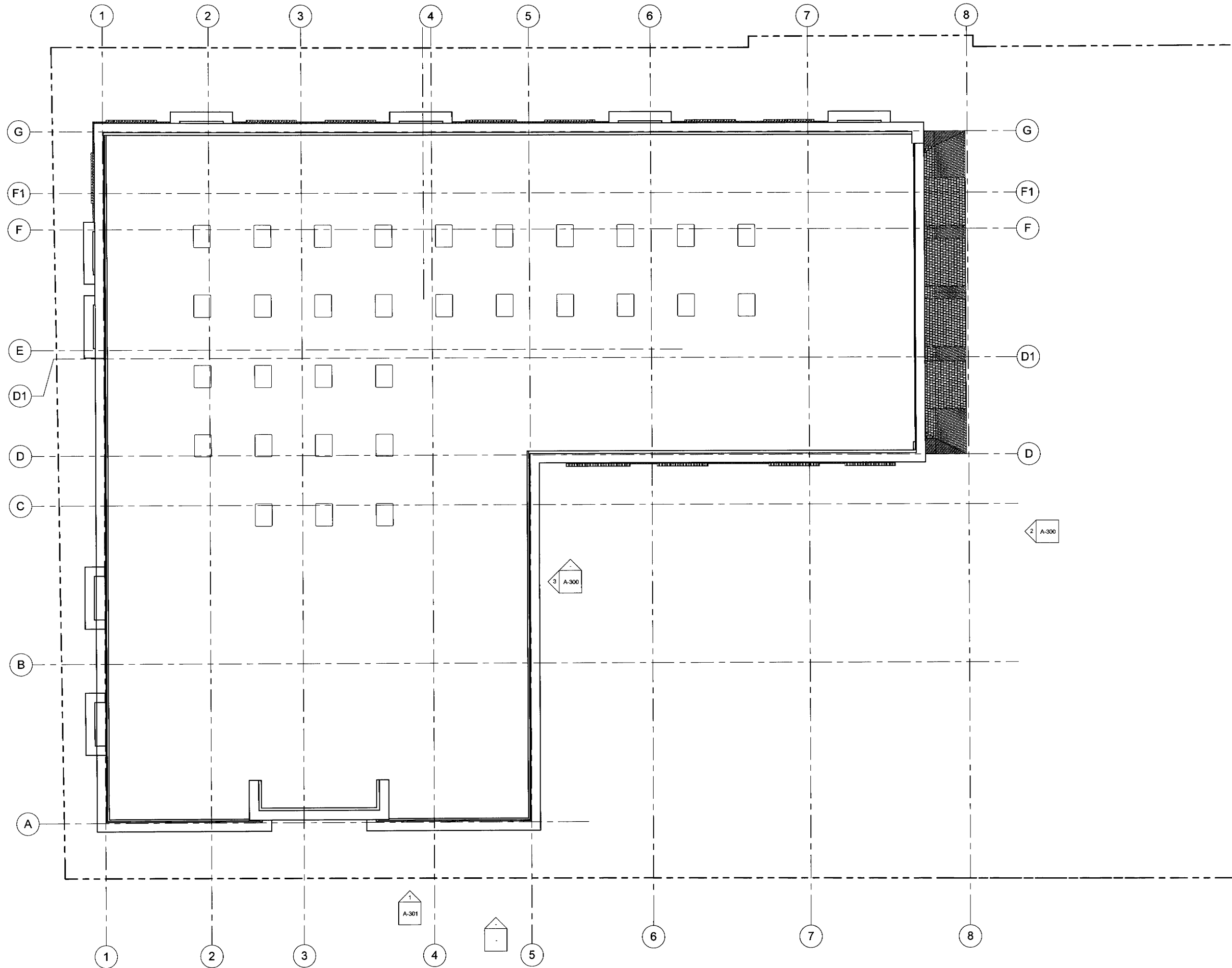
REVISIONS

No.	Description	Date

3rd Floor Plan

A-103

Summer Street Residences



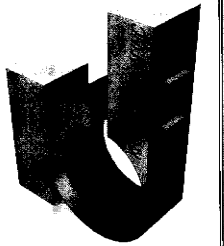
1 4-Roof Level
1/8" = 1'-0"

PROJECT NAME
**Summer Street
Residences**

PROJECT ADDRESS
351 Summer Street
Somerville MA 02143

CLIENT
**Strategic Capital
Group,LLC.**

ARCHITECT
KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

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S. P. J. AND
PLANNING DEPT.

REGISTRATION



Project number 11006
Date 11-18-2011
Drawn by KK
Checked by JSK
Scale 1/8" = 1'-0"

REVISIONS

No.	Description	Date

Roof Plan

A-104

Summer Street Residences

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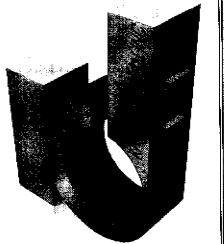
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PROJECT NAME
**Summer Street
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351 Summer Street
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CLIENT
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ARCHITECT
KHALSA DESIGN INC.



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TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

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PLANNING DEPT.
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REGISTRATION



Project number 11006
Date 11-18-2011
Drawn by KK
Checked by JSK
Scale 1/8" = 1'-0"

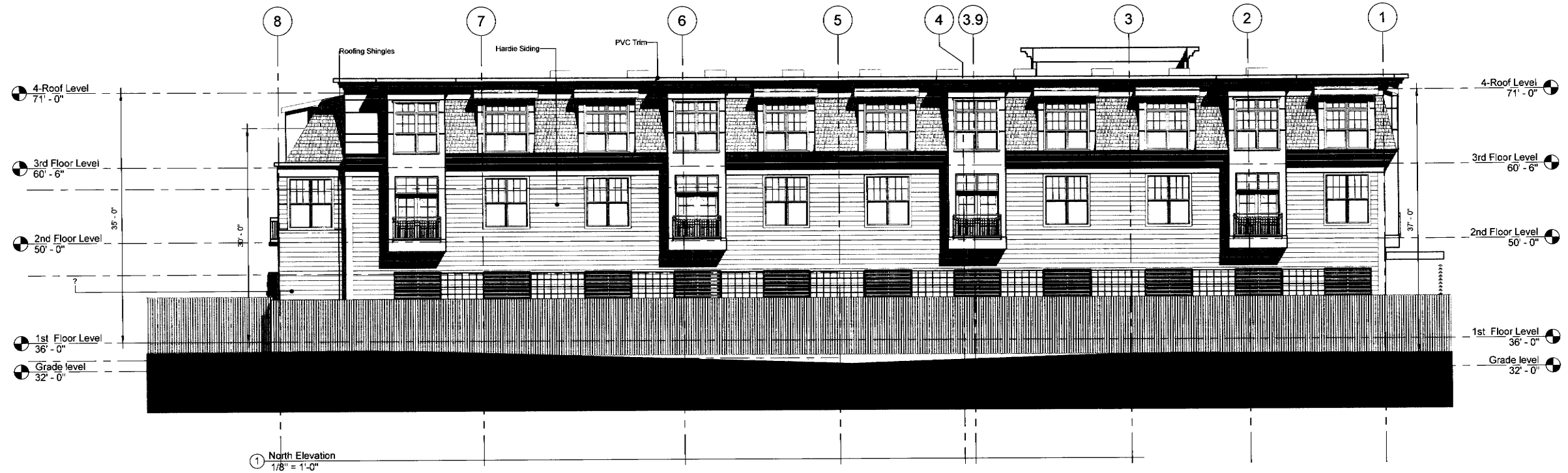
REVISIONS

No.	Description	Date

North & East
Elevations

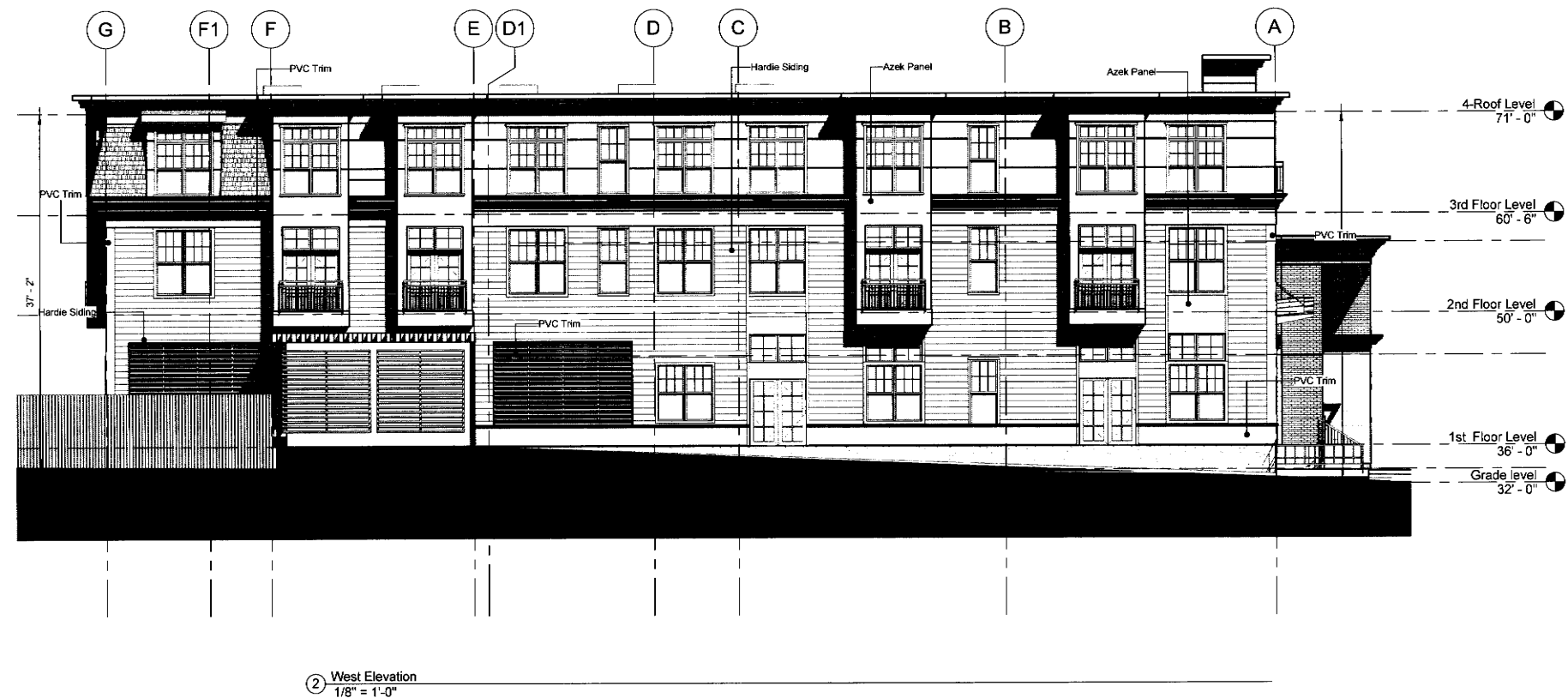
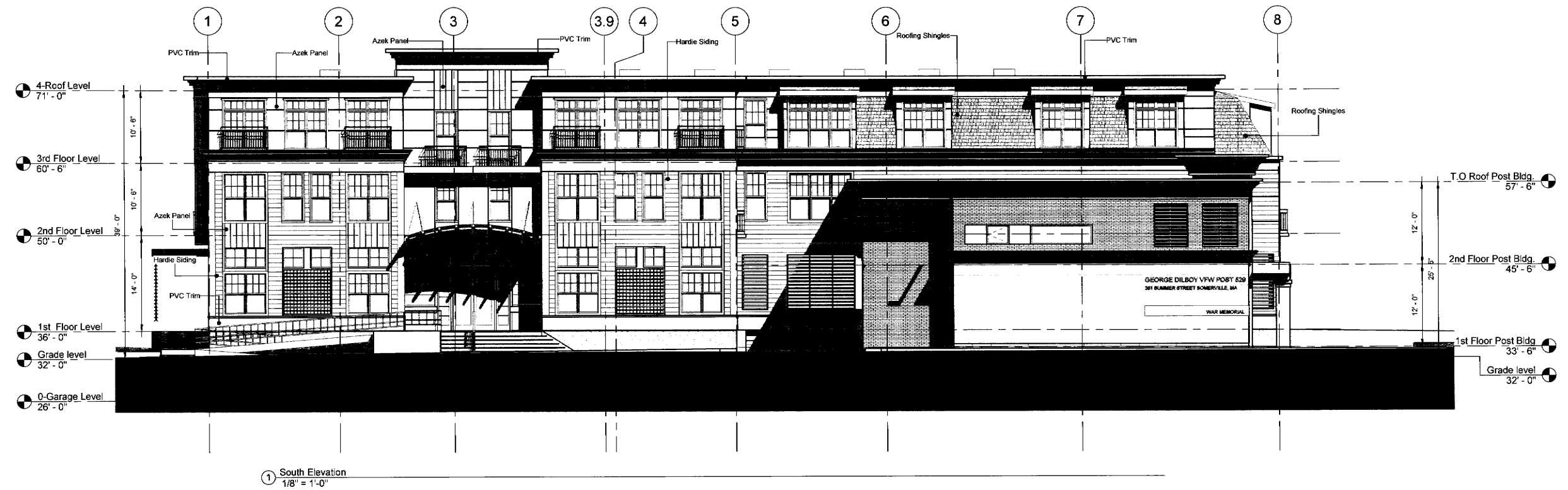
A-300

Summer Street Residences



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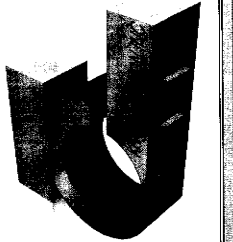


PROJECT NAME
Summer Street Residences

PROJECT ADDRESS
351 Summer Street
Somerville MA 02143

CLIENT
Strategic Capital Group, LLC.

ARCHITECT
KHALSA DESIGN INC.



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SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

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Project number 11006
Date 11-18-2011
Drawn by KK
Checked by JSK
Scale 1/8" = 1'-0"

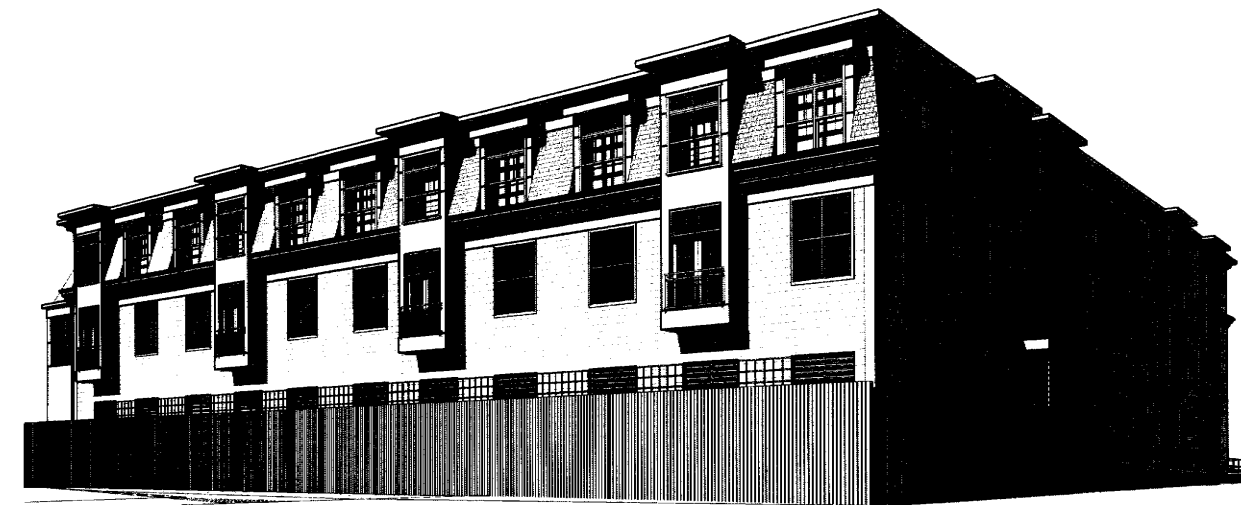
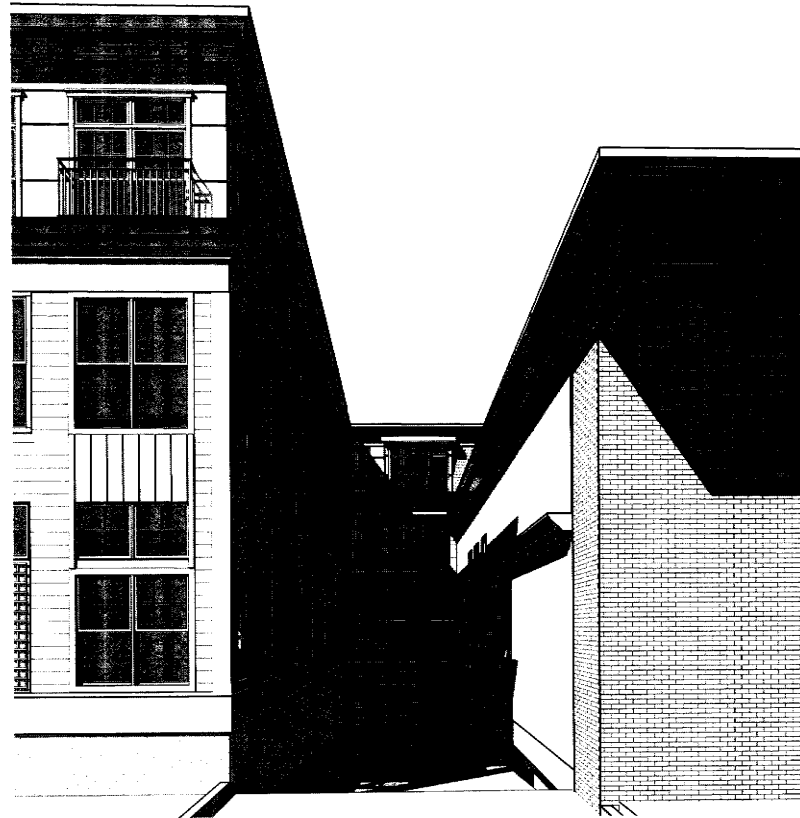
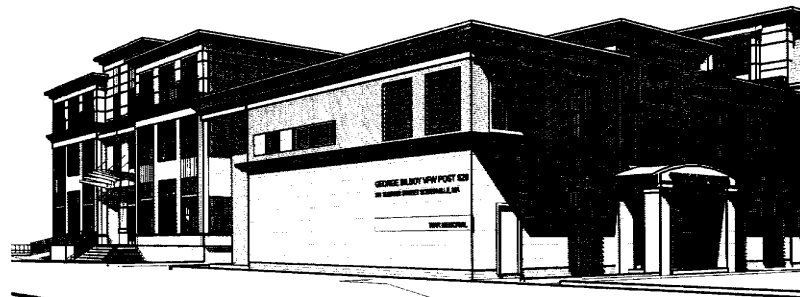
REVISIONS

No.	Description	Date

South & West Elevations

A-301

Summer Street Residences



PROJECT NAME

Summer Street Residences

PROJECT ADDRESS

351 Summer Street
Somerville MA 02143

CLIENT

Strategic Capital
Group,LLC.

ARCHITECT

KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143

TELEPHONE: 617-591-8882 FAX: 617-591-2096

CONSULTANTS:

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PLANNING DEPT.

REGISTRATION



Project number 11006
Date 11-18-2011
Drawn by KK
Checked by JSK
Scale

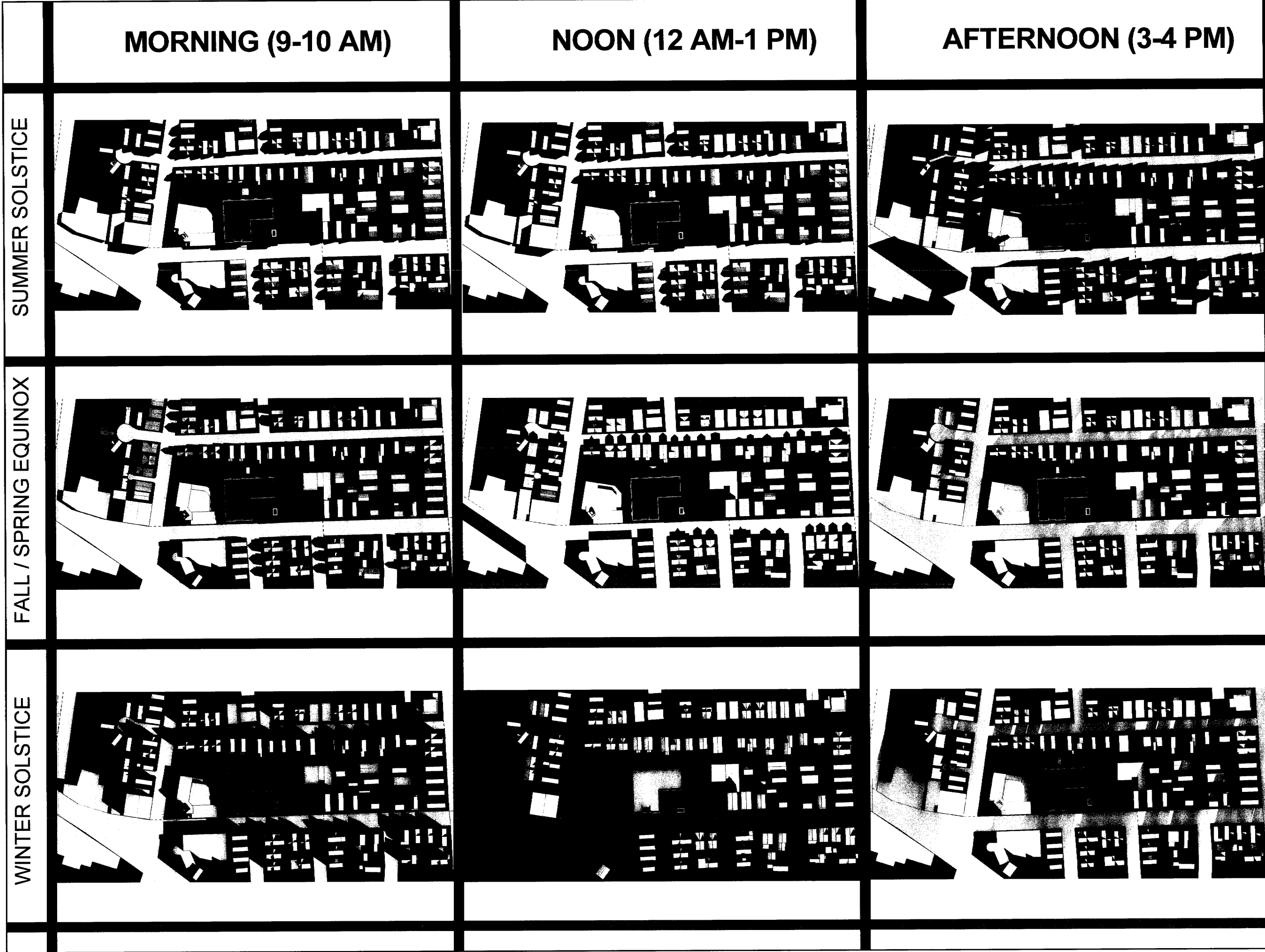
REVISIONS

No.	Description	Date

Perspective views

A-901

Summer Street Residences

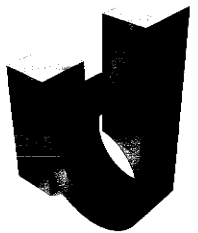


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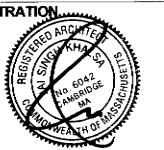
ARCHITECT
KHALSA DESIGN INC.



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CONSULTANTS:

REGISTRATION



Project number 11006
Date 11-17-2011
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Checked by JSK
Scale 1/2" = 1'-0"

No.	Description	Date

Shadow Studies

A904
Summer Street Residences

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