

Landscape Civil Drawing List		
Sheet Number	Sheet Name	Sheet Issue Date

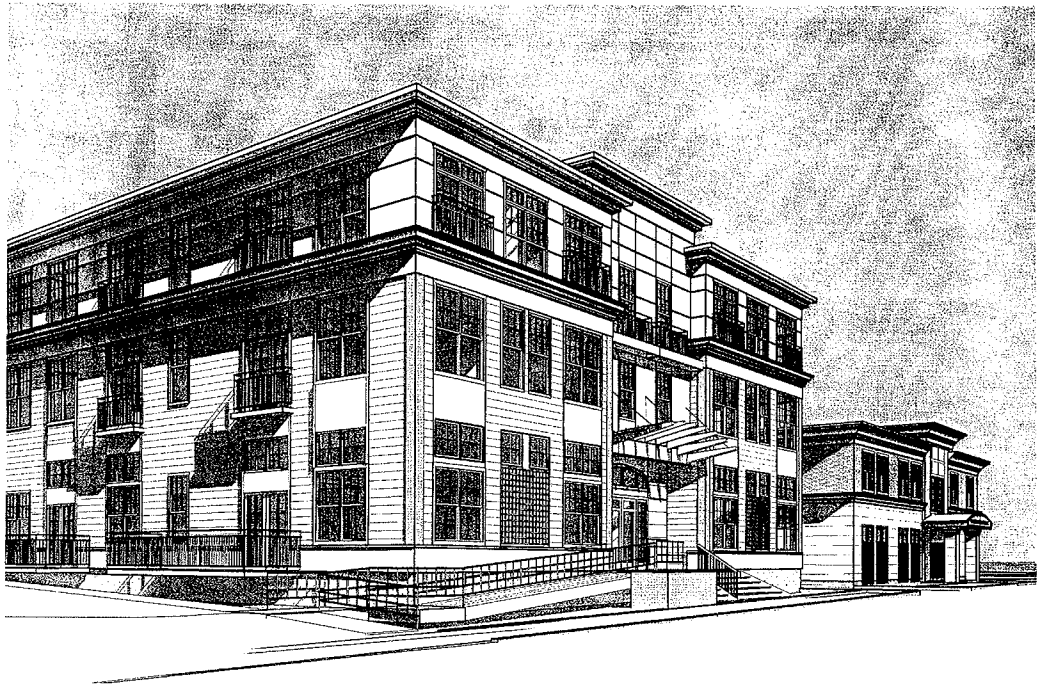
L-1	Landscape Plan	06/24/11
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Civil Drawing List		
Sheet Number	Sheet Name	Sheet Issue Date

C-1	Permit Layout and Grading Plan	06/24/11
C-2	Permit Utility Plan	06/24/11
C-3	Details Sheet 1	06/24/11
C-4	Deatils Sheet 2	06/24/11

Architectural Drawing List		
Sheet Number	Sheet Name	Sheet Issue Date

A-000	Cover Sheet	06/24/11
AZ-010	Zoning Site Plan	06/24/11
A-100	Garage Floor Plan	06/24/11
A-101	1st Floor Plan	06/24/11
A-102	2nd Floor Plan	06/24/11
A-103	3rd Floor Plan	06/24/11
A-104	Roof Plan	06/24/11
A-300	North & East Elevations	06/24/11
A-301	South & West Elevations	06/24/11
A-302	Dilboy Post	06/24/11
A-901	Perspective views	06/24/11
A-902	Perspective View	02/24/11
A-903	Perspective view	06/24/11
A-904	Shadow Study	06/28/11
A-905	Aenal Site View	06/28/11
A-906	Perspective views from neighbors	06/24/11



ISSUE DATE: 06-24-11

PROJECT:
SUMMER STREET RESIDENCES

351 SUMMER STREET
SOMERVILLE MASSACHUSETTS
02143

CLIENT
STRATEGIC CAPITAL GROUP, LLC
1264 Main St
Waltham, MA 02451

LANDSCAPE ARCHITECT
WILLIAM FLEMING ASSOCIATES, INC
ADDRESS:
5 Central Square Suite 301
Stoneham, MA 02180
TEL. 781.438.3088

ARCHITECT
KHALSA DESIGN INC.
ADDRESS:
17 IVALOO STREET, SUITE 400
SOMERVILLE, MA 02143

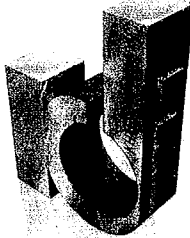
CIVIL ENGINEER
DESIGN CONSULTANTS, INC.
ADDRESS:
120 MIDDLESEX AVE STE 20
SOMERVILLE, MA 02145
Tel: 617-776-3350

PROJECT NAME
Summer Street
Residences

PROJECT ADDRESS
351 Summer Street
Somerville MA 02143

CLIENT
Strategic Capital
Group,LLC.

ARCHITECT
KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

201 JUN 30 A 8 32
CITY CLERK'S OFFICE
SOMERVILLE, MA

REGISTRATION

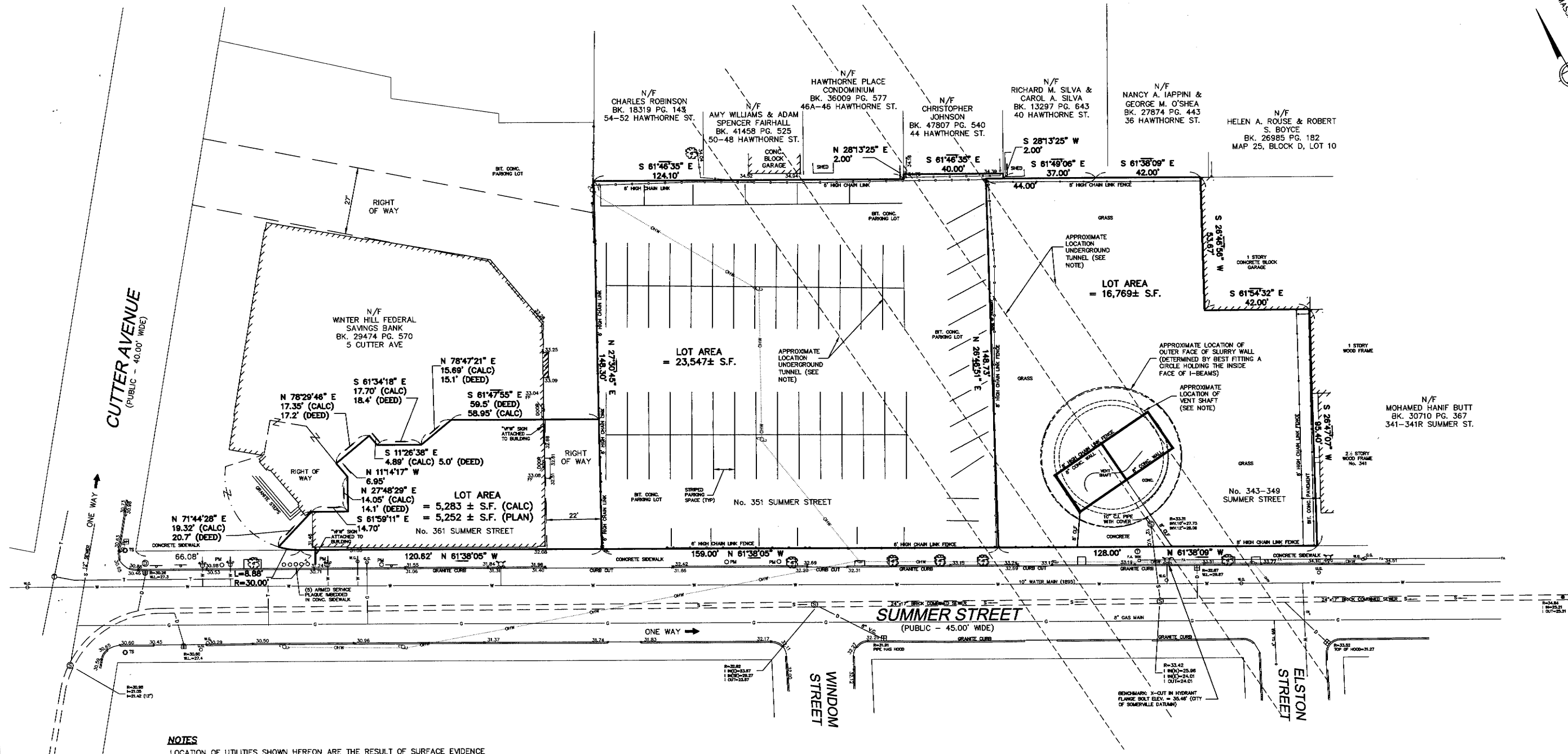
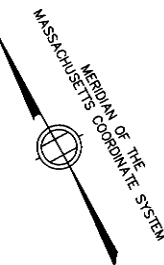


Project number	11006
Date	06-24-11
Drawn by	KK
Checked by	JSK
Scale	

REVISIONS		
No.	Description	Date
1		

Cover Sheet

.A-000
Summer Street Residences



NOTES

LOCATION OF UTILITIES SHOWN HEREON ARE THE RESULT OF SURFACE EVIDENCE AS LOCATED BY FIELD SURVEY, PLANS OF RECORD, INFORMATION FURNISHED BY THE RESPECTIVE UTILITY COMPANIES, AND OTHER AVAILABLE SOURCES IN POSSESSION OF DESIGN CONSULTANTS INC. AS OF THIS DATE. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME WITHIN THE PREMISES SURVEYED, CALL DIGSAFE BEFORE EXCAVATION.

THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS FOR DESIGN PURPOSES, AND IS THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BETWEEN DECEMBER 27, 2001 AND JULY 7, 2009, BY DESIGN CONSULTANTS, INC.

APPROXIMATE LOCATION OF VENT SHAFT AND UNDERGROUND TUNNELS WERE SCALED FROM A PLAN ENTITLED "SUMMER STREET VENT SHAFT LOCATION PLAN AND GENERAL SECTIONS" BY BECHTEL INCORPORATED, DATED SEPT. 29, 1978

OWNERSHIP INFORMATION USED IN THE PREPARATION OF THIS PLAN WAS OBTAINED FROM THE CITY OF SOMERVILLE ASSESSOR'S OFFICE.

P.L.S. EVERETT J. CHANDLER, P.L.S. MASS. REGISTRATION NO. 41783

DATE 7/26/11



LEGEND

- CHAIN LINK FENCE
- S SANITARY SEWER
- D DRAIN LINE
- W WATER LINE
- E ELECTRIC LINE
- G GAS LINE
- SM SANITARY SEWER MANHOLE
- FH FIRE HYDRANT
- UG UNKNOWN GATE
- WG WATER GATE
- GG GAS GATE
- SE 32.42 SPOT ELEVATION

LOCUS TITLE INFORMATION

361 SUMMER STREET

OWNER: GEORGE DILBOY POST 529, INC.
DEED REFERENCE: BK. 6569 PG. 208
PLAN REFERENCE: PLAN No. 179 OF 1931
ASSESSORS: MAP 25, BLOCK D, LOT 37

LOCUS TITLE INFORMATION

351 SUMMER STREET

OWNER: GEORGE DILBOY POST 529, INC.
DEED REFERENCE: BK. 389 PG. 225
PLAN REFERENCE: L.C.C. 16366A
ASSESSORS: MAP 25, BLOCK D, LOT 36

LOCUS TITLE INFORMATION

343-349 SUMMER STREET

OWNER: THE DAKOTA PARTNERS LLC
DEED REFERENCE: BK. 37414 PG. 63
PLAN REFERENCE: PLAN No. 1079 OF 1978
ASSESSORS: MAP 25, BLOCK D, LOTS 33, 34 & 35



SCALE:

HORIZ: 1" = 20'

VERT:

1	6-03-10	ML	REVISED VENT SHAFT LOCATION		

FIELD: SG
CALCS: ML
CHECKED: MDR
APPROVED: EJC

EXISTING CONDITIONS PLAN

341-361 SUMMER STREET

PLAN OF LAND IN
SOMERVILLE MASSACHUSETTS
SURVEYED FOR
STRATEGIC CAPITAL GROUP, LLC

PROJECT NO.
2008-038
DATE: JUL 9, 2009
SHEET NO.
1 OF 1

GENERAL NOTES

- All contractors shall inspect site prior to bidding to verify existing conditions for themselves.
- The Contractor shall supply all plant material in quantities sufficient to complete the planting shown on the drawings.
- All plant material shall conform to the guidelines established by "The American Standard for Nursery Stock," published by the American Association of Nurserymen, Inc. ANSI Z60.1-Current Edition.
- All plants to be balled in burlap or container grown. No plastic burlap.
- All plants to be approved by the Landscape Architect.
- Stake location of all proposed plant material for approval of Landscape Architect prior to commencement of planting.
- The landscape contractor shall guarantee all plant materials for one (1) full year from date of acceptance.
- Heal all construction scars with lawn or mulch, as indicated by drawings and/or Landscape Architect.
- Street Trees shall remain and have installed in a 4'x4' ADA compliant tree grate.

SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
EVERGREEN TREES						
PS	5	PIRUS STROBUS	EASTERN WHITE PINE	5'-6'	B&B	NATURAL SHAPE, UNSHEARED
TP	5	TRIAULIS CL. 'SILVERADO'	EMERALD GREEN ARBORVITAE	5'-6'	B&B	NATURAL SHAPE, UNSHEARED
DECIDUOUS AND ORNAMENTAL TREES						
AG	2	'AMELANSCHIER' QUERCUS 'ROBIN HILL'	ROBIN HILL SERRANO	6'-7'	B&B	(7) + STEM CLUMP
BNC	2	BETULA NIGRA 'HERITAGE'	HERITAGE BIRCH	6'-7'	B&B	(2) STEM CLUMP SPECIMEN
POC	2	PIRUS C. 'CHANTRELLE'	CHANTRELLE FLOWERING PEAR	2 1/2 - 3'	B&B	STRAIGHT SINGLE LEADER SPECIMEN
GT	6	QUERCUS TRACANTHOS 'SKYLINE'	SKYLINE HONEYLOCUSTS	2 1/2 - 3'	B&B	STRAIGHT SINGLE LEADER SPECIMEN
JS	1	PLATANUS ACERIFOLIA 'BLOODGOOD'	BLOODGOOD LONDON PLANETREE	2 1/2 - 3'	B&B	STRAIGHT SINGLE LEADER SPECIMEN
SHRUBS						
IM	6	ILEX X. MESSEYANAE 'BLUE PRINCESS'	BLUE PRINCESS HOLLY	5'-6'	B&B	SPECIMEN FEMALE
IM	1	ILEX X. MESSEYANAE 'BLUE PRINCE'	BLUE PRINCE HOLLY	5'-6'	B&B	SPECIMEN MALE
IGC	43	ILEX GLABRA 'COMPACTA'	COMPACT HEDERA	2 1/2 - 3'	B&B	
IR	18	RHOXODENDRON 'BOULE DE NEIGE'	BOULE DE NEIGE RHOXODENDRON	2 1/2 - 3'	B&B	
IR	5	RHOXODENDRON 'TUM'	TUM RHOXODENDRON	2 1/2 - 3'	B&B	
JS	33	JUNIPERUS C. 'SARACINI'	SARACINI JUNIPER	18 - 24"	B&B	
PERENNIALS AND GROUNDCOVER						
HK	28	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY'S	6"	6"	
IS	33	IRIS SIBERICA 'CAESARS BROTHER'	CAESARS BROTHERS IRIS	6"	6"	
VM	58	VIRGA MIOIR	PERIWINKLE	6"	6"	FLAT-50 FT (2/50)

OPEN SPACE:

TOTAL PROPERTY: 40,316 SQ'
LANDSCAPE AREA: 8,705 SQ'
LANDSCAPE AREA RATIO: 21.5%

GRAPHIC LEGEND

- EXISTING VEGETATION TO REMAIN
- EXISTING TREES TO REMAIN
- PROPOSED EVERGREEN TREES
- PROPOSED DECIDUOUS SHADE TREES / STREET TREES
- PROPOSED ORNAMENTAL & FLOWERING TREES
- PROPOSED EVERGREEN & DECIDUOUS SHRUBS
- PROPOSED PERENNIALS
- SPECIAL PAVING
- EVERGREEN GROUNDCOVER
- DROUGHT TOLERANT PLANTS
- TURF GRASS PAVERS
- 4' / 6' HIGH PERIMETER ACOUSTIC PRIVACY FENCE W/ 2' HIGH LATTICE TOPPER / 6' HIGH PRIVACY FENCE W/ TOPPER (4' HIGH FENCE NO LATTICE TOPPER)
- WALL MOUNTED CUT-OFF HORIZONTAL LIGHT FIXTURE 100 W HPS
- 12' HIGH POLE HIGH CUT-OFF LIGHT FIXTURE 150 W HPS

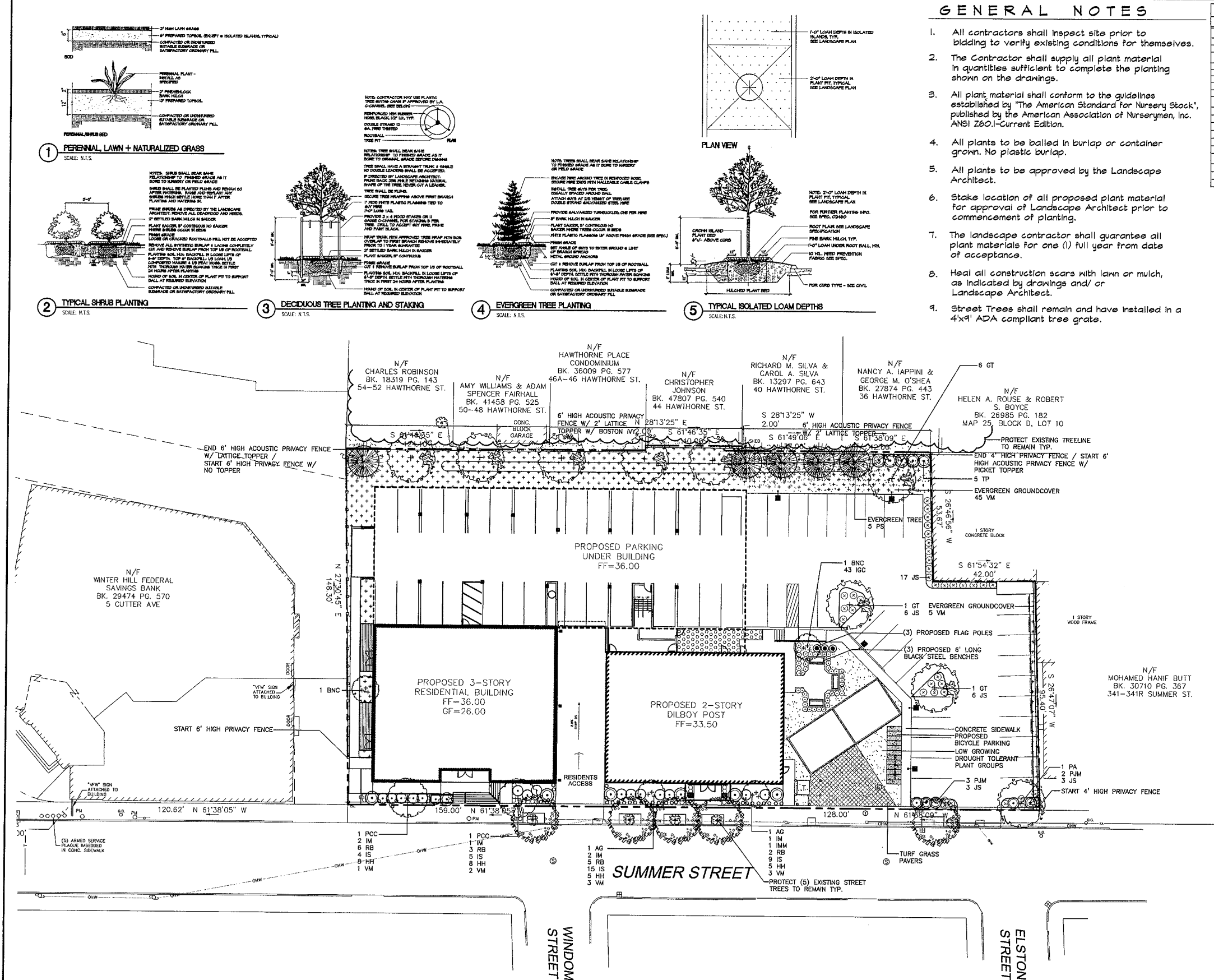
LANDSCAPE NOTES:

LOAM DEPTHS SHALL BE AS FOLLOWS:

- LAWN AREAS - 6" ROLLED THICKNESS
- PLANT BEDS - 1'-0" LOAM DEPTH IN THE PLANTED AREA WITH 2" MULCH.
- ISOLATED PLANTED ISLANDS - 1'-0" LOAM DEPTH

SITE LIGHTING

Due to the urban nature of the site, lighting levels have been designed as minimal and offer the motorist direction in and out of the project site. Light levels at the parking areas have been increased due to the increase of motorist and pedestrian activity. Lighting levels will be augmented by Architectural wall mounted / soffit lighting on the buildings. All site fixtures are to have High Cut-Off Optics with house shields where required.



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Design Consultants, Inc.
Consulting Engineers and Surveyors

GRANDE SPAULDING BUILDING
120 MIDDLESEX AVENUE SUITE 20
SOMERVILLE, MA 02145
(617) 776-3350

WILLIAM FLEMING ASSOCIATES
LANDSCAPE ARCHITECTURE
PLANNING

100 West Street
Boston, MA 02108
781-448-0000
781-448-0001
WFA@CFACgroup.com

SCALE:
HORIZ: 1"= 20'

NO.	DATE	BY	REVISIONS



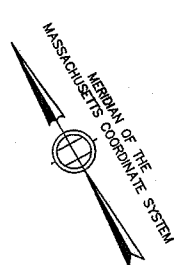
DESIGNED: WFA
DRAFTED: WFA
CHECKED: WFA
APPROVED: WFA

LANDSCAPE PLAN

343-351 SUMMER STREET

PLAN OF LAND IN
SOMERVILLE, MASSACHUSETTS
PREPARED FOR
STRATEGIC CAPITAL GROUP LLC

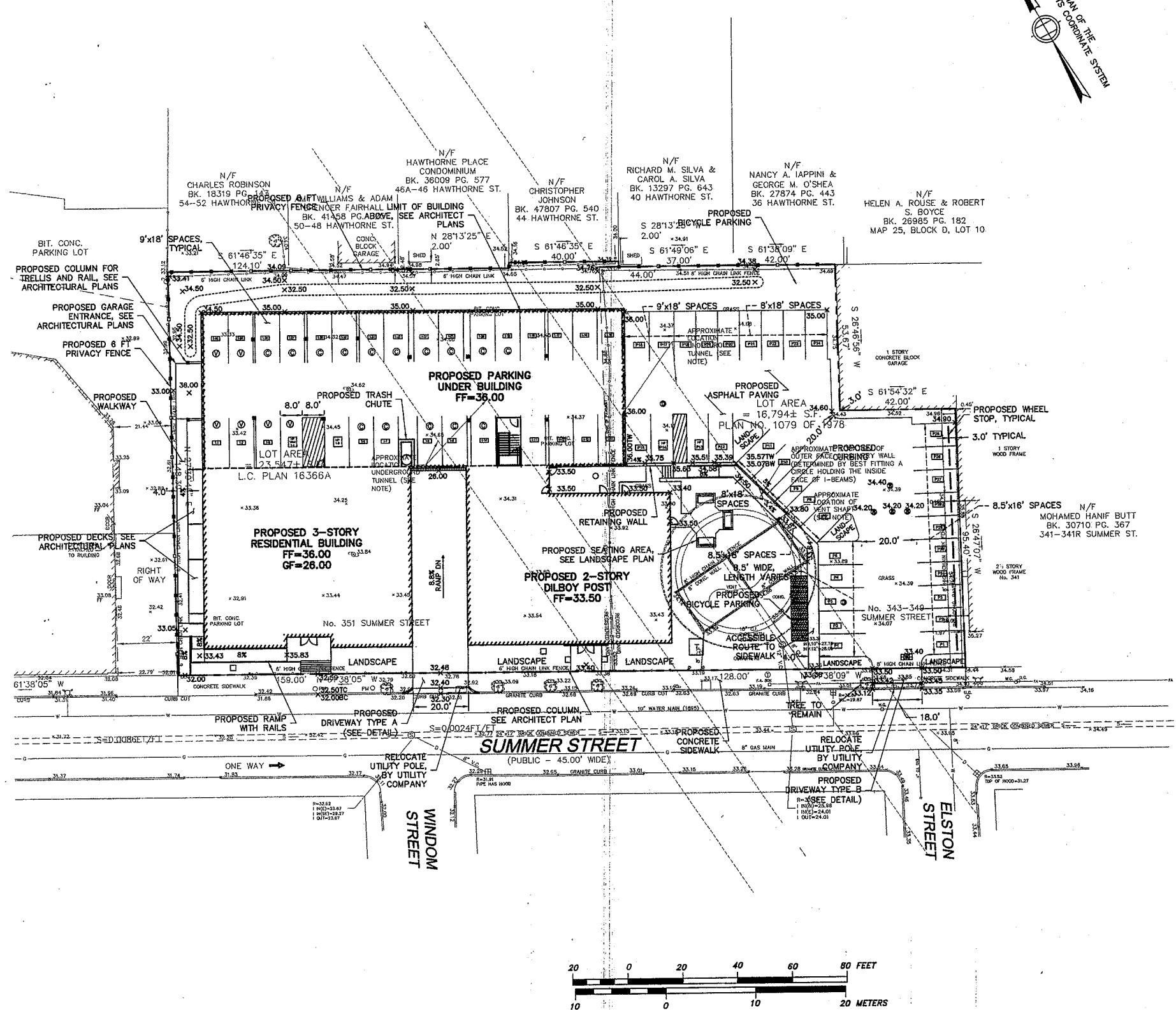
PROJECT NO.
2008-038
DATE: JUNE 24, 2011
SHEET NO.
1 OF 1



PLAN REFERENCE:
"EXISTING CONDITIONS PLAN" PREPARED BY DESIGN CONSULTANTS, INC., DATED JUNE 30, 2009.

STANDARD SPECS:
ALL WORK PERFORMED AS PART OF THIS PROJECT SHALL CONFORM TO THE STANDARD SPECIFICATIONS OF THE CITY OF SOMERVILLE, DEPARTMENT OF PUBLIC WORKS, THE AMERICAN'S WITH DISABILITIES ACT, ARCHITECTURAL ACCESS BOARD, AND ANY OTHER AGENCY WITH AUTHORITY IN THE AREA.

- GENERAL NOTES:**
1. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION AND SIZE OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME INSIDE OR OUTSIDE OF EXISTING OR PROPOSED BUILDINGS, ON THE SUBJECT PROPERTY, WITHIN THE STREET RIGHT-OF-WAY, OR ON ADJUTING LOTS.
 2. THE ADJACENT ABUTTER(S) MUST BE NOTIFIED PRIOR TO THE CONSTRUCTION LOCATED ON THEIR PROPERTY.
 3. ALL EXISTING STRUCTURES ON THE SUBJECT PROPERTY SHALL BE DEMOLISHED, IF THERE ARE ANY. UTILITY POLES ARE TO BE REMOVED & RELOCATED BY OTHERS, UNLESS OTHERWISE DIRECTED BY OWNER.
 4. CONTRACTOR SHALL ADJUST ALL GATES, SERVICE BOXES, ETC. WITHIN THE RECONSTRUCTION OF THE SIDEWALK AREA.
 5. THE CITY OF SOMERVILLE MUNICIPAL UTILITIES (WATER, SEWER, & DRAIN) ARE NOT PART OF DIG-SAFE. CONTACT THE CITY OF SOMERVILLE FOR THE MARKING OF SOMERVILLE MUNICIPAL UTILITIES, CONTACT DIG-SAFE AT 1-888-344-7233 OR 1-800-322-4844 AT LEAST 72 HOURS PRIOR TO EXCAVATION.
 6. THE PROPOSED DESIGN MUST MEET THE APPROVAL OF THE MASSACHUSETTS BAY TRANSPORTATION AUTHORITY. THE OWNER IS RESPONSIBLE FOR OBTAINING THIS APPROVAL.
 7. THE STRUCTURAL INTEGRITY OF THE MBTA'S VENT SHAFT IS TO BE REVIEWED BY A GEOTECHNICAL ENGINEER AND A STRUCTURAL ENGINEER FOR TRAFFIC AND LOADING AND ADDITIONAL HYDROSTATIC PRESSURE AGAINST ALL STRUCTURES DUE TO THE PROPOSED SUBSURFACE INFILTRATION SYSTEM. THIS REVIEW BY A LICENSED PROFESSIONAL STRUCTURAL AND GEOTECHNICAL ENGINEER IS THE RESPONSIBILITY OF THE OWNER.
 8. SEE LANDSCAPE PLANS FOR TREATMENT AND GRADING OF LANDSCAPE AREAS.



LEGEND

BOUND FOUND	⊙	TELEPHONE MANHOLE
CHAIN LINK FENCE	⊗	MANHOLE - UNKNOWN TYPE
STOCKADE FENCE	⊗	CATCH BASIN
SANITARY SEWER	⊗	LIGHT POLE
DRAIN LINE	⊗	UTILITY POLE
WATER LINE	⊗	FIRE HYDRANT
GAS LINE	⊗	WATER GATE
OVERHEAD WRES	⊗	GAS GATE
ELECTRIC LINE	⊗	GATE - UNKNOWN TYPE
TELEPHONE LINE	⊗	CLEANOUT
CABLE TELEVISION LINE	⊗	PLANTER DRAIN
FIRE ALARM CABLE	⊗	FIRE ALARM BOX
OVERHEAD WRES	⊗	SIGN
SANITARY MANHOLE	⊗	TOP OF WALL
DRAIN MANHOLE	⊗	PROPOSED GRADE
HIGH POINT	⊗	HOLD EXISTING GRADE
DIRECTION OF FLOW	→	VISITOR PARKING
		COMMERCIAL PARKING



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Consulting Engineers and Surveyors

GRANDE SPAULDING BUILDING
120 MIDDLESEX AVENUE SUITE 20
SOMERVILLE, MA 02145
(617) 776-3350

SCALE:
HORIZ: 1" = 20'
VERT: _____

NO.	DATE	BY	REVISIONS



DESIGNED: RB
DRAFTED: RB
CHECKED: DG
APPROVED: DG

PERMIT LAYOUT AND GRADING PLAN

343-351 SUMMER STREET

PLAN OF LAND IN
SOMERVILLE, MASSACHUSETTS

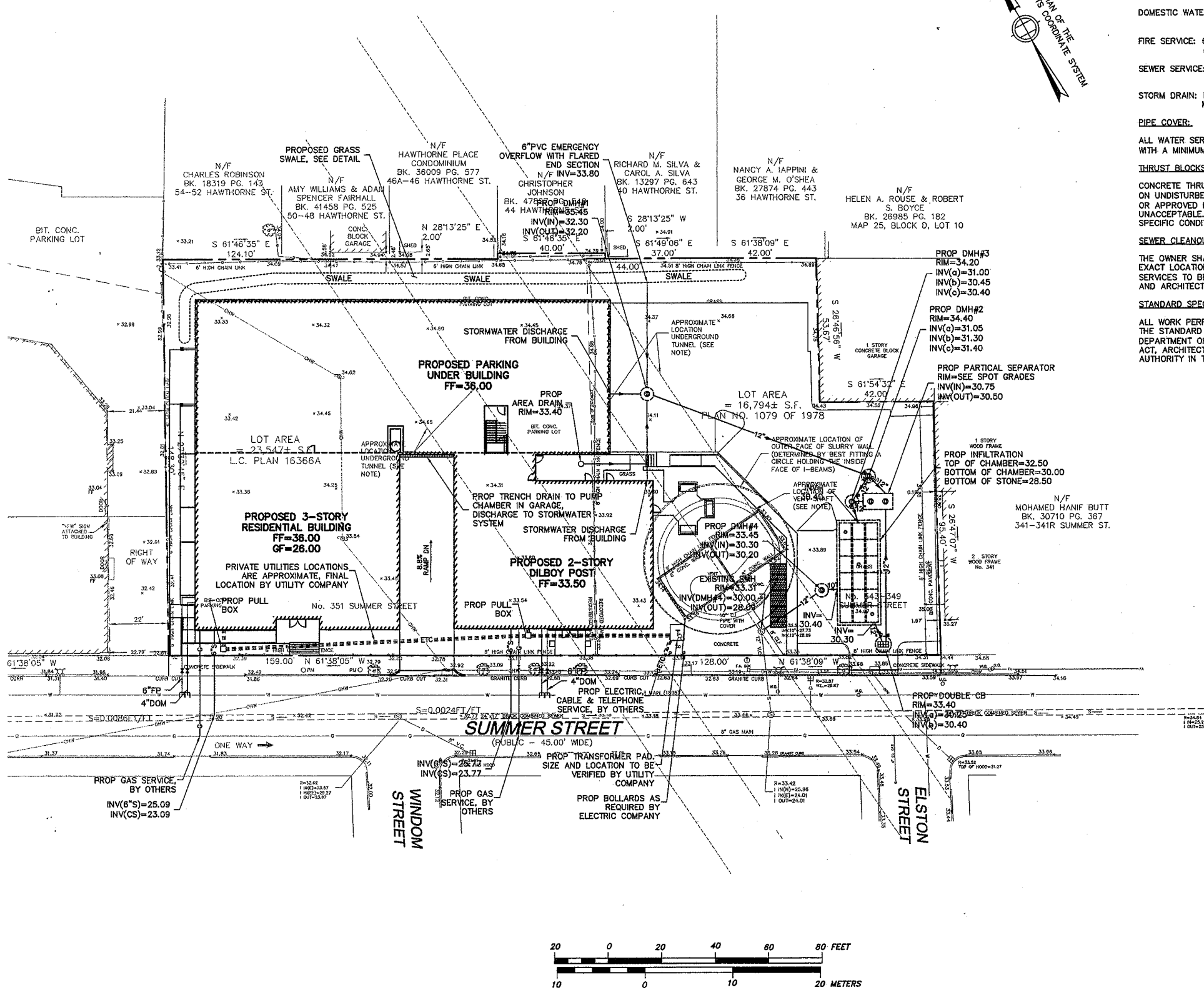
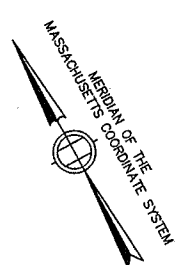
PREPARED FOR
STRATEGIC CAPITAL GROUP, LLC

PROJECT NO.
2008-038

DATE: JUNE 24, 2011

SHEET NO.
C1

P: 2008 PROJECTS\2008-038 351 SUMMER ST SOMERVILLE\DWG\ENGINEERING\08-038 SP 2011.DWG 6/23/2011 2:29 PM



PLAN REFERENCE:
EXISTING CONDITIONS PLAN PREPARED BY DESIGN CONSULTANTS, INC., DATED JUNE 30, 2009.

PIPE MATERIALS:
DOMESTIC WATER SERVICE: 4-INCH CONCRETE-LINED (DCL) CLASS 52 (MEP TO VERIFY)
FIRE SERVICE: 6-INCH CONCRETE-LINED (DCL) CLASS 52 (MEP TO VERIFY)
SEWER SERVICE: 6-INCH PVC ASTM D3034-SDR 35 MINIMUM SLOPE S=0.020
STORM DRAIN: PVC ASTM D3034-SDR 35, SIZE AS NOTED MINIMUM SLOPE S=0.010

PIPE COVER:
ALL WATER SERVICES AND WATER MAIN PIPING SHALL BE INSTALLED WITH A MINIMUM COVER OF FIVE (5) FEET THROUGHOUT.

THRUST BLOCKS:
CONCRETE THRUST BLOCKS TO BE USED ONLY WHERE IT WILL BEAR ON UNDISTURBED EARTH. USE RESTRAINED JOINT FITTINGS (MEGALUG OR APPROVED EQUAL) WHERE CONCRETE THRUST BLOCK IS UNACCEPTABLE. SIZE OF BLOCK OR MEGALUG TO BE DESIGNED FOR SPECIFIC CONDITIONS.

SEWER CLEANOUTS & INTERNAL SEWER SERVICES:
THE OWNER SHALL FURNISH AND INSTALL ALL SEWER CLEANOUTS. EXACT LOCATION OF ALL SEWER CLEANOUTS AND INTERNAL SEWER SERVICES TO BE CONFIRMED/COORDINATED BY MECHANICAL ENGINEER AND ARCHITECT.

STANDARD SPECS:
ALL WORK PERFORMED AS PART OF THIS PROJECT SHALL CONFORM TO THE STANDARD SPECIFICATIONS OF THE CITY OF SOMERVILLE, DEPARTMENT OF PUBLIC WORKS, THE AMERICAN'S WITH DISABILITIES ACT, ARCHITECTURAL ACCESS BOARD, AND ANY OTHER AGENCY WITH AUTHORITY IN THE AREA.

- GENERAL NOTES:**
- THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION AND SIZE OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME INSIDE OR OUTSIDE OF EXISTING OR PROPOSED BUILDINGS, ON THE SUBJECT PROPERTY, WITHIN THE STREET RIGHT-OF-WAY, OR ON ADJUTING LOTS.
 - THE ADJACENT ABUTTER(S) MUST BE NOTIFIED PRIOR TO THE CONSTRUCTION LOCATED ON THEIR PROPERTY.
 - ALL EXISTING STRUCTURES ON THE SUBJECT PROPERTY SHALL BE DEMOLISHED, IF THERE ARE ANY. UTILITY POLES ARE TO BE REMOVED & RELOCATED BY OTHERS, UNLESS OTHERWISE DIRECTED BY OWNER.
 - ALL EXISTING UNDERGROUND UTILITIES SHALL BE ABANDONED, IF THERE ARE ANY, IN THEIR ENTIRETY, UP TO THE PROPERTY LINE, AND TO THE SPECIFICATIONS OF THE CITY OF SOMERVILLE. ABANDONMENT OF EXISTING CONNECTIONS SHALL BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE OWNERS.
 - CUTTING AND CAPPING AT THE PROPERTY LINE FOR SAID UTILITIES AND REMOVAL/ABANDONMENT/CAPPING BEYOND THE PROPERTY LINE SHALL BE AS PER INSTRUCTED BY THE RESPECTIVE UTILITY COMPANY.
 - THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND RECORDING THE EXACT LOCATION OF EACH PROPOSED UTILITY CONNECTION.
 - CONTRACTOR SHALL ADJUST ALL GATES, SERVICE BOXES, ETC. WITHIN THE RECONSTRUCTION OF THE SIDEWALK AREA.
 - THE CITY OF SOMERVILLE MUNICIPAL UTILITIES (WATER, SEWER, & DRAIN) ARE NOT PART OF DIG-SAFE. CONTACT THE CITY OF SOMERVILLE FOR THE MARKING OF SOMERVILLE MUNICIPAL UTILITIES, CONTACT DIG-SAFE AT 1-888-344-7233 OR 1-800-322-4844 AT LEAST 72 HOURS PRIOR TO EXCAVATION.
 - THE CONTRACTOR SHALL SUPPLY ALL PIPING, STRUCTURES, MATERIALS, AND APPURTENANCES, AND SHALL PERFORM ALL WET AND/OR DRY TAPS, AS PART OF HIS CONTRACT.
 - NEW WATER SERVICES MUST BE LEFT SHUT OFF AT THE MAIN ON THE STREET UNTIL ACTIVATED BY THE CITY OF SOMERVILLE.
 - A DYE TEST SHALL BE PERFORMED BY A CITY OF SOMERVILLE INSPECTOR PRIOR TO THE ISSUANCE OF AN OCCUPANCY PERMIT.
 - THIS PLAN HAS BEEN PREPARED FOR THE APPROVAL OF THE DOMESTIC WATER SERVICE, FIRE PROTECTION WATER SERVICE, THE ON-SITE DRAINAGE FACILITIES AND THE SEWER SERVICE.
 - THE RESPONSIBILITY OF OWNERSHIP AND MAINTENANCE OF THE SEWER, WATER, AND DRAIN CONNECTIONS ON PRIVATE PROPERTY AND/OR PRIVATE AND PUBLIC WAYS SHALL REMAIN THAT OF THE OWNER.
 - THE CITY OF SOMERVILLE RESERVES THE RIGHT TO INSPECT ALL PRIVATE FACILITIES DISCHARGING TO MUNICIPAL FACILITIES.
 - DURING EXCAVATION AND CONSTRUCTION OF PIPES AND STRUCTURES, TRENCHES MUST BE ADEQUATELY BRACED AND PROTECTED AGAINST CAVE-IN.
 - ALL ROOF DRAINS WILL BE ROUTED THROUGH THE GARAGE, AND WILL LEAVE THE BUILDING AT THE POINT INDICATED ON THE PLAN (TO BE DESIGNATED BY OTHERS).
 - THE PROPOSED DESIGN MUST MEET THE APPROVAL OF THE MASSACHUSETTS BAY TRANSPORTATION AUTHORITY. THE OWNER IS RESPONSIBLE FOR OBTAINING THIS APPROVAL.
 - THE STRUCTURAL INTEGRITY OF THE MBTA'S VENT SHAFT IS TO BE REVIEWED BY A GEOTECHNICAL ENGINEER AND A STRUCTURAL ENGINEER FOR TRAFFIC AND LOADING AND ADDITIONAL HYDROSTATIC PRESSURE AGAINST ALL STRUCTURES DUE TO THE PROPOSED SUBSURFACE INFILTRATION SYSTEM. THIS REVIEW BY A LICENSED PROFESSIONAL STRUCTURAL AND GEOTECHNICAL ENGINEER IS THE RESPONSIBILITY OF THE OWNER.

LEGEND			
	BOUND FOUND		TELEPHONE MANHOLE
	CHAIN LINK FENCE		MANHOLE - UNKNOWN TYPE
	STOCKADE FENCE		CATCH BASIN
	SANITARY SEWER		LIGHT POLE
	DRAIN LINE		UTILITY POLE
	WATER LINE		FIRE HYDRANT
	GAS LINE		WATER GATE
	OVERHEAD WIRES		GAS GATE
	ELECTRIC LINE		GATE - UNKNOWN TYPE
	TELEPHONE LINE		CLEANOUT
	CABLE TELEVISION LINE		PLANTER DRAIN
	FIRE ALARM CABLE		FIRE ALARM BOX
	OVERHEAD WIRES		SIGN
	SANITARY MANHOLE		TOP OF WALL
	DRAIN MANHOLE		PROPOSED GRADE
	OVERFLOW		HOLD EXISTING GRADE
	DIRECTION OF FLOW		HIGH POINT

Design Consultants, Inc.
Consulting Engineers and Surveyors

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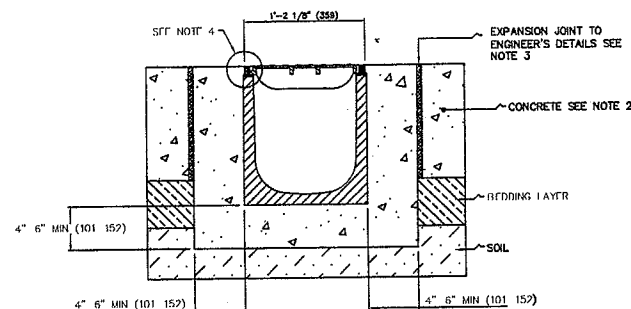
PERMIT UTILITY PLAN

343-351 SUMMER STREET

PLAN OF LAND IN
SOMERVILLE, MASSACHUSETTS
PREPARED FOR
STRATEGIC CAPITAL GROUP, LLC

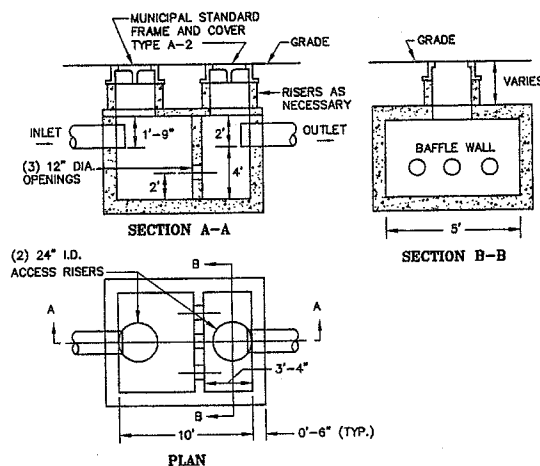
PROJECT NO.
2008-038
DATE: JUNE 24, 2011
SHEET NO.
C2

P: 2008 PROJECTS 2008-038 351 SUMMER ST SOMERVILLE.DWG \ENGINEERING\08-038 SP 2011.DWG

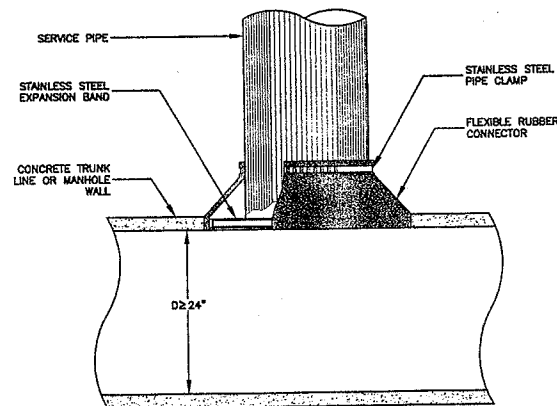


NOTES:
 1. IT IS NECESSARY TO ENSURE THE MINIMUM DIMENSIONS SHOWN ARE SUITABLE FOR THE EXISTING GROUND CONDITIONS. ENGINEERING ADVICE MAY BE REQUIRED.
 2. A MINIMUM CONCRETE STRENGTH OF 3000 PSI IS RECOMMENDED. THE CONCRETE SHOULD BE VIBRATED TO ELIMINATE AIR POCKETS.
 3. EXPANSION AND CRACK CONTROL JOINTS ARE RECOMMENDED TO PROTECT THE CHANNEL AND THE CONCRETE SURROUND. ENGINEERING ADVICE MAY BE REQUIRED.
 4. THE FINISHED LEVEL OF THE CONCRETE SURROUND MUST BE APPROX. 1/8" (3) ABOVE THE TOP OF THE CHANNEL EDGE.
 5. REFER TO SMITH/ACO'S LATEST INSTALLATION INSTRUCTIONS FOR COMPLETE DETAILS.

TRENCH DRAIN
 NOT TO SCALE

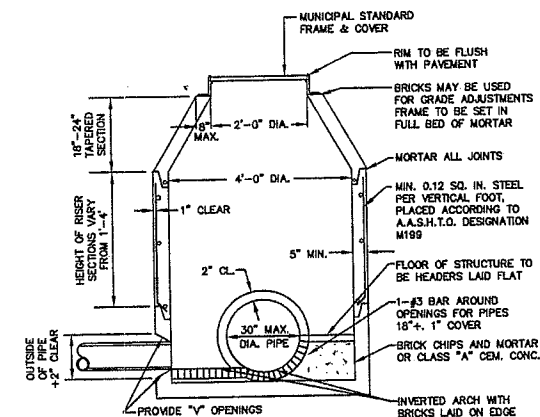


TYPICAL INLINE PARTICLE SEPARATOR
 1,500 GALLON CAPACITY - H2O
 NOT TO SCALE

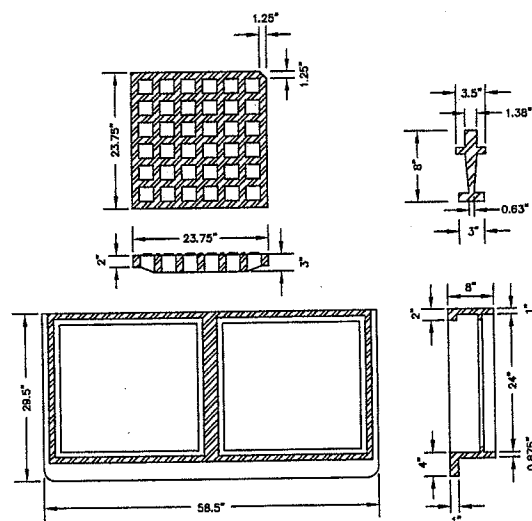
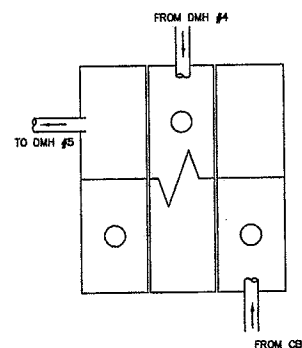


NOTES:
 1. OPENING IN CONCRETE WALL SHALL BE CORED USING HIGH SPEED DIAMOND DRILL.
 2. ALL METAL FIXTURES SHALL BE OF STAINLESS STEEL.
 3. SERVICE LINE SHALL BE FLUSH WITH THE INSIDE OF THE CONCRETE PIPE OR WALL.
 4. IF TRUNK LINE DIAMETER IS LESS THAN 24", THEN A SADDLE TYPE CONNECTION WILL BE USED.

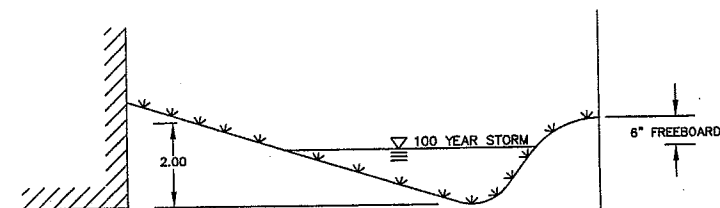
TYPICAL FIELD CONNECTION TO LARGE CONCRETE PIPE OR MANHOLE
 NOT TO SCALE



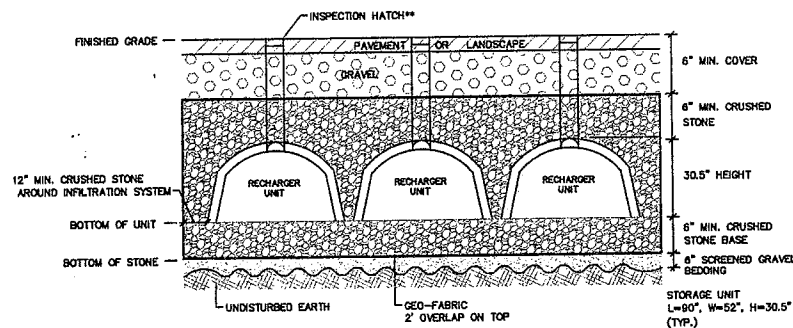
PRECAST CONCRETE DRAIN MANHOLE
 NOT TO SCALE



DOUBLE CATCH BASIN GRATE AND FRAMES
 NOT TO SCALE

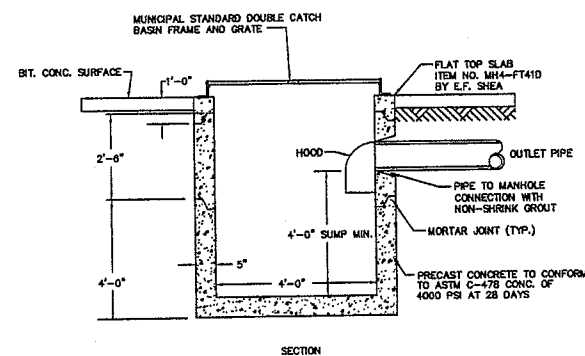


WET WATER QUALITY SWALE
 NOT TO SCALE

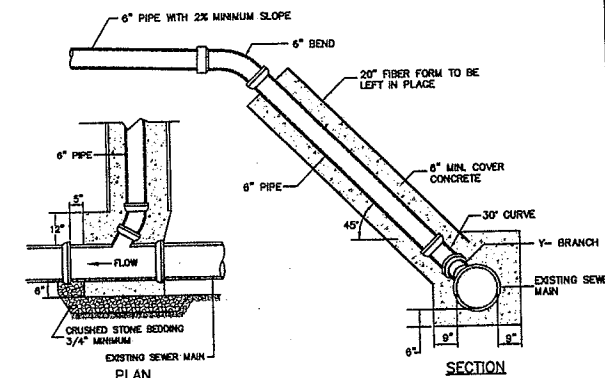


* ALL STONE SHALL BE BETWEEN 1 1/2" AND 2" WASHED CRUSHED STONE.
 ** ONE INSPECTION HATCH TO BE BROUGHT TO SURFACE PER TRENCH. RANDOMLY LOCATED ALONG TRENCH.

INFILTRATION CHAMBERS
 NOT TO SCALE



FLAT TOP CATCH BASIN WITH HOODED OUTLET
 NOT TO SCALE



SEWER CHIMNEY WITH 45° CONNECT TO EXISTING SEWER
 NOT TO SCALE

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Design Consultants, Inc.
 Consulting Engineers and Surveyors
 GRANDE SPAULDING BUILDING
 120 MIDDLESEX AVENUE SUITE 20
 SOMERVILLE, MA 02145
 (617) 778-3350

SCALE:
 HORIZ: _____
 VERT: _____

NO. DATE BY REVISIONS



DESIGNED: RB
 DRAFTED: RB
 CHECKED: DG
 APPROVED: DG

DETAILS SHEET 1

343-351 SUMMER STREET

PLAN OF LAND IN
 SOMERVILLE, MASSACHUSETTS
 PREPARED FOR
 STRATEGIC CAPITAL GROUP, LLC

PROJECT NO.
 2008-038
 DATE: JUNE 24, 2011
 SHEET NO.
 C3

P:\2008 PROJECTS\2008-038 351 SUMMER ST SOMERVILLE.DWG ENGINEERING 08-038 SP 2011.DWG 7/1/2011 9:35 AM

IE STREET
4.00' WIDE)

HEIGHT SETBACK IN CBD TO RA ZONE

SECTION 8.6-20.HEIGHT LIMIT FOR STRUCTURES ABUTTING RESIDENTIAL DISTRICTS: WHERE A LOT ABUTS AN RA, RB OR RC ZONING DISTRICT LINE, ANY STRUCTURE (OR PORTION OF A STRUCTURE) WITHIN THIRTY (30) FEET OF SAID DISTRICT LINE SHALL BE LIMITED TO THREE (3) STORIES AND FORTY (40) FEET IN HEIGHT.

REAR SETBACK IN CBD ZONE

SECTION 8.5 10 FT PLUS 2 FT PER STORY OVER FIRST FLOOR EQUALS 14 FEET,
SECTION 8.6 FOOTNOTE 12 WHEN A BUSINESS ZONE ABUTS A RESIDENTIAL ZONE THEN 1/3 HEIGHT
MINIMUM 15 FEET SO $39/3 = 13$ FEET, SO 15 FEET MINIMUM REQUIRED

REAR SETBACK IN RA ZONE

SECTION 8.5 20 FT

SECTION 8.6 14 PROJECTIONS INTO REAR YARDS
CAN BE 1/4 REAR SETBACK [OR 5 FT] BUT IN NO CASE
LESS THAN 10 FT SETBACK.

Schedule of Parking Spaces for 343-351 Summer Street				
Parking for Residential in Garage		res units	pkg req	total req
studios		4	1	4
1-bedroom units		9	1.5	13.5
2-bedroom units		15	1.5	27
		31		45
visitor parking (surface) - 1/8 units			6	6
Parking for Dilboy Post Building			req	provided
assembly space in sf		2,475		
seating capacity - 150/person		105		
parking required - 1 / 6 people			28	42
Commercial Parking				15
total parking			78	108
Parking Stall Sizes			req	provided
full size - 8' x 18'			57	76
compact			15	28
handicap parking			4	4
			76	108
Garage Parking				
17 units have one space				
14 units have 2 spaces 11 are tandem				
no units share spaces				

PROJECT NAME
Summer Street
Residences & Dilboy
Post Building

PROJECT ADDRESS
351 Summer Street
Somerville MA 02143

CLIENT

Strategic Capital
Group,LLC.

ARCHITECT
KHALSA DESIGN INC.

17 WALDO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2085

CONSULTANTS:

REGISTRATION



MOHAMED
BK. 30
341-341

Project number 07042
Date 06-24-11
Drawn by KK-IL
Checked by JSK
Scale

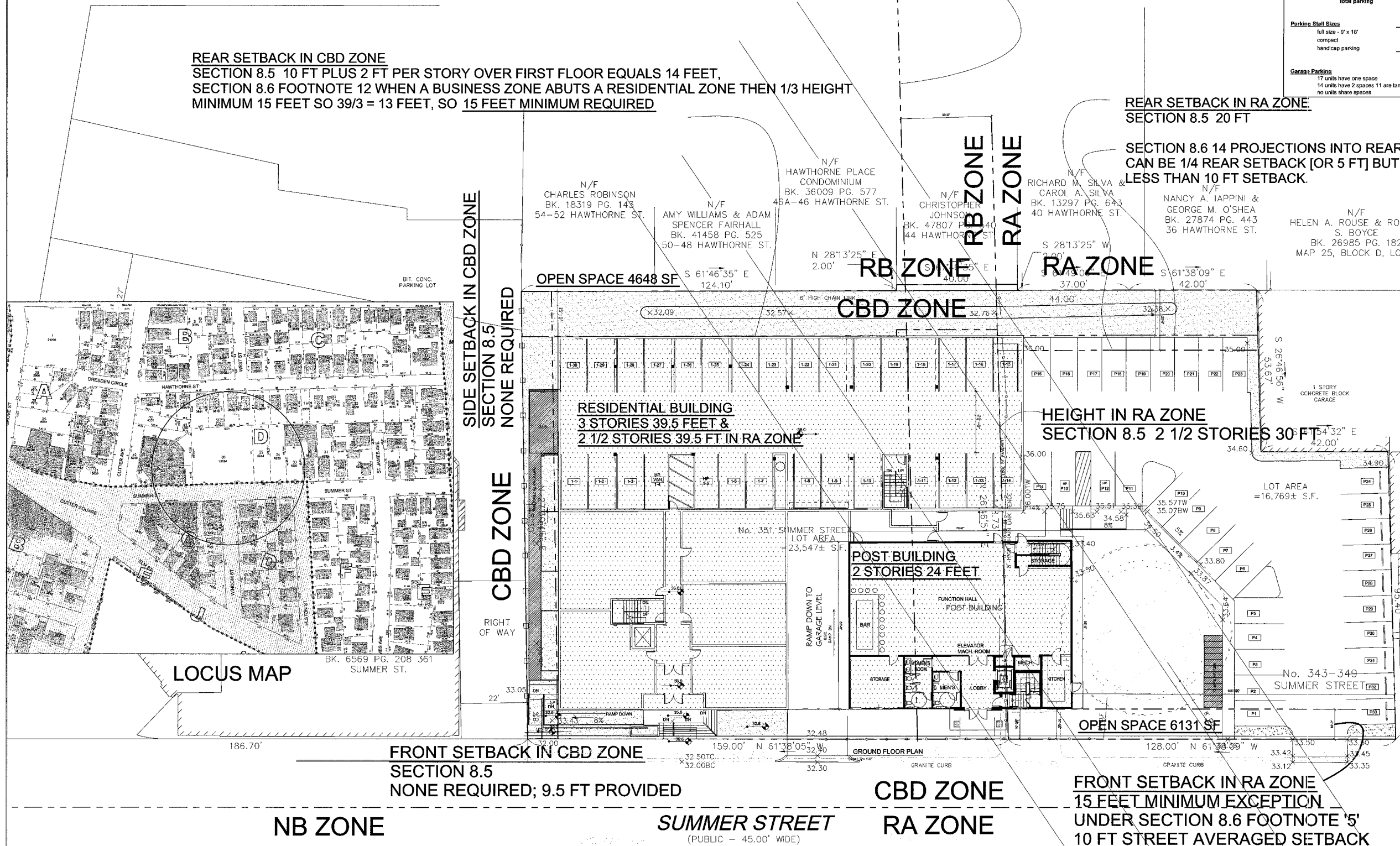
REVISIONS

No.	Description	Date
1.	Parking spaces	07-15-11

Zoning
Site Plan

AZ-010

Summer Street residences



COVERAGE

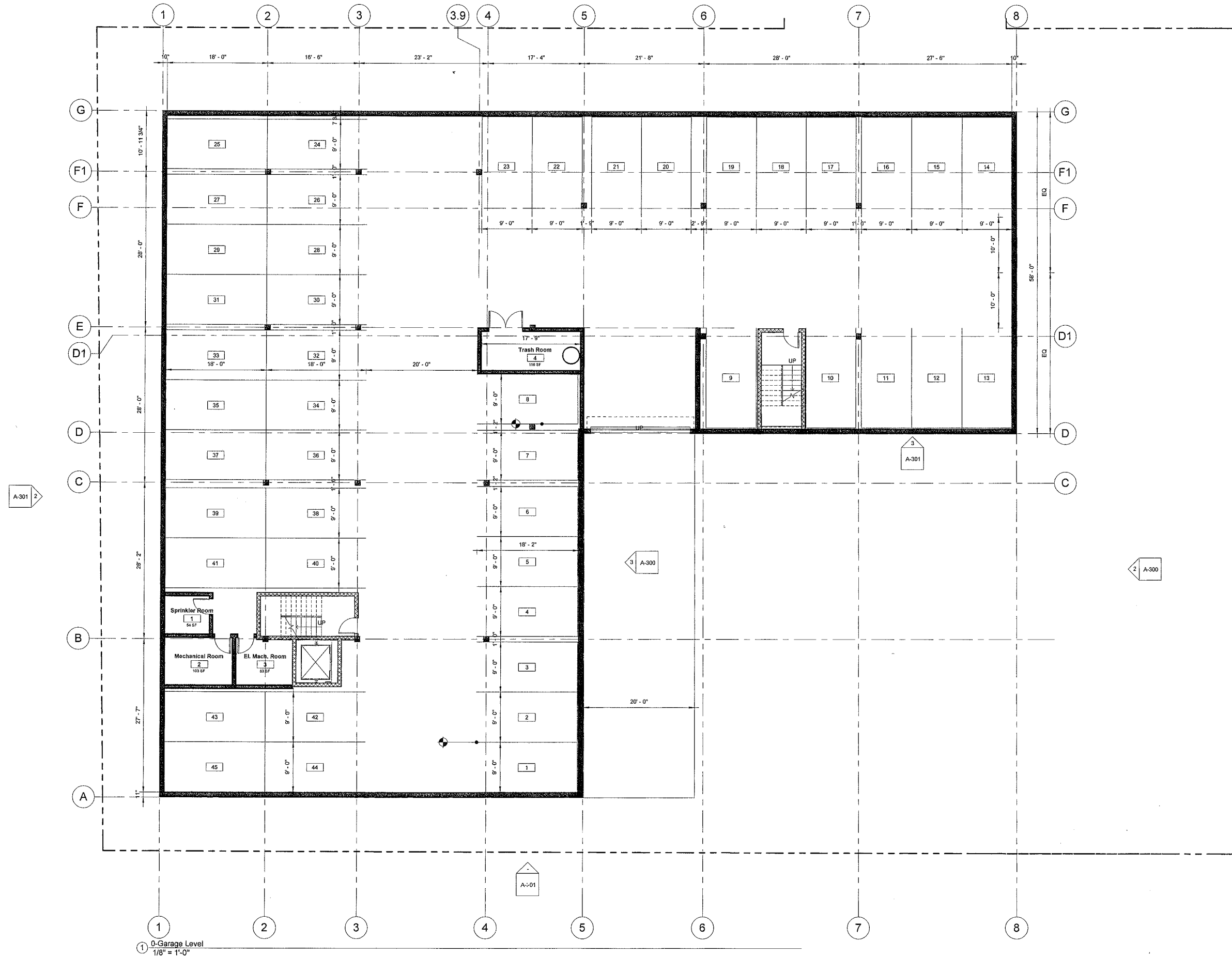
CBD 16,587 / 23,511 SF (lot area) = 70.5% : 80% ALLOWED
RA 1,693 SF / 16,805 SF (lot area) = 10% : 50% ALLOWED
TOTAL COVERAGE 18,280 / 40,316 SF (lot area) = 45.3% PROVIDED

OPEN SPACE

CBD 4648 / 23,511 SF (lot area) = 19.7% : 10% REQUIRED
RA 6131 / 16,805 (lot area) = 36.4% : 25% REQUIRED
TOTAL COMBINED 4648 + 6131 SF = 10,779 SF OR 27.44% PROVIDED

WINDOW
STREET

ELSTON
STREET



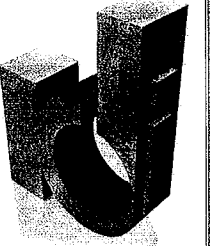
1 0-Garage Level
1/8" = 1'-0"

PROJECT NAME
**Summer Street
Residences**

PROJECT ADDRESS
351 Summer Street
Somerville MA 02143

CLIENT
**Strategic Capital
Group,LLC.**

ARCHITECT
KHALSA DESIGN INC.



17 WALDO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8892 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



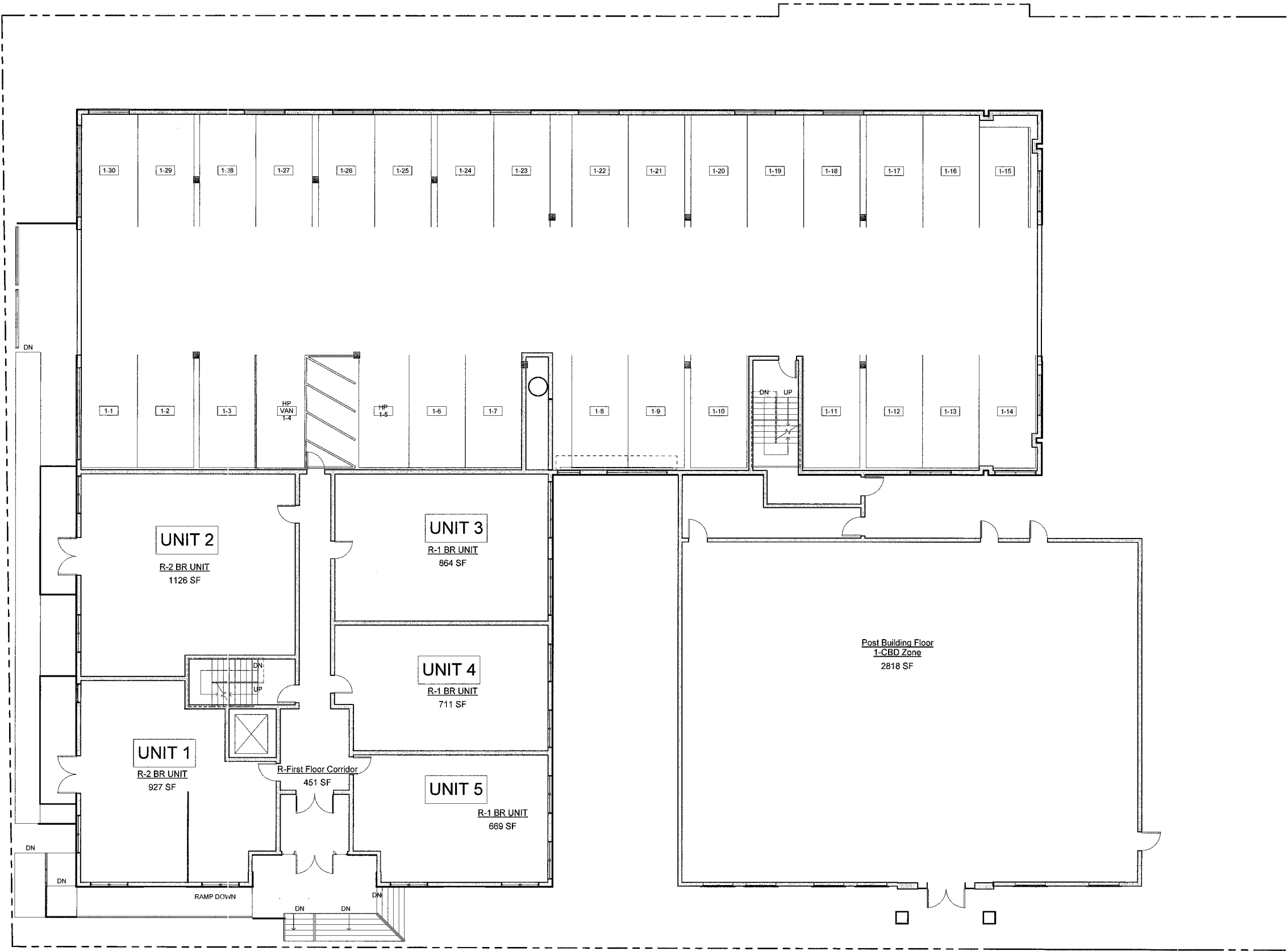
Project number 11006
Date 06-24-11
Drawn by KK
Checked by JSK
Scale 1/8" = 1'-0"

REVISIONS		
No.	Description	Date
1		

Garage Floor Plan

A-100

Summer Street Residences



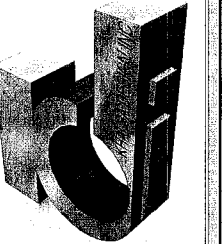
① 1st Floor Level
1/8" = 1'-0"

PROJECT NAME
**Summer Street
Residences**

PROJECT ADDRESS
351 Summer Street
Somerville MA 02143

CLIENT
**Strategic Capital
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ARCHITECT
KHALSA DESIGN INC.



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TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



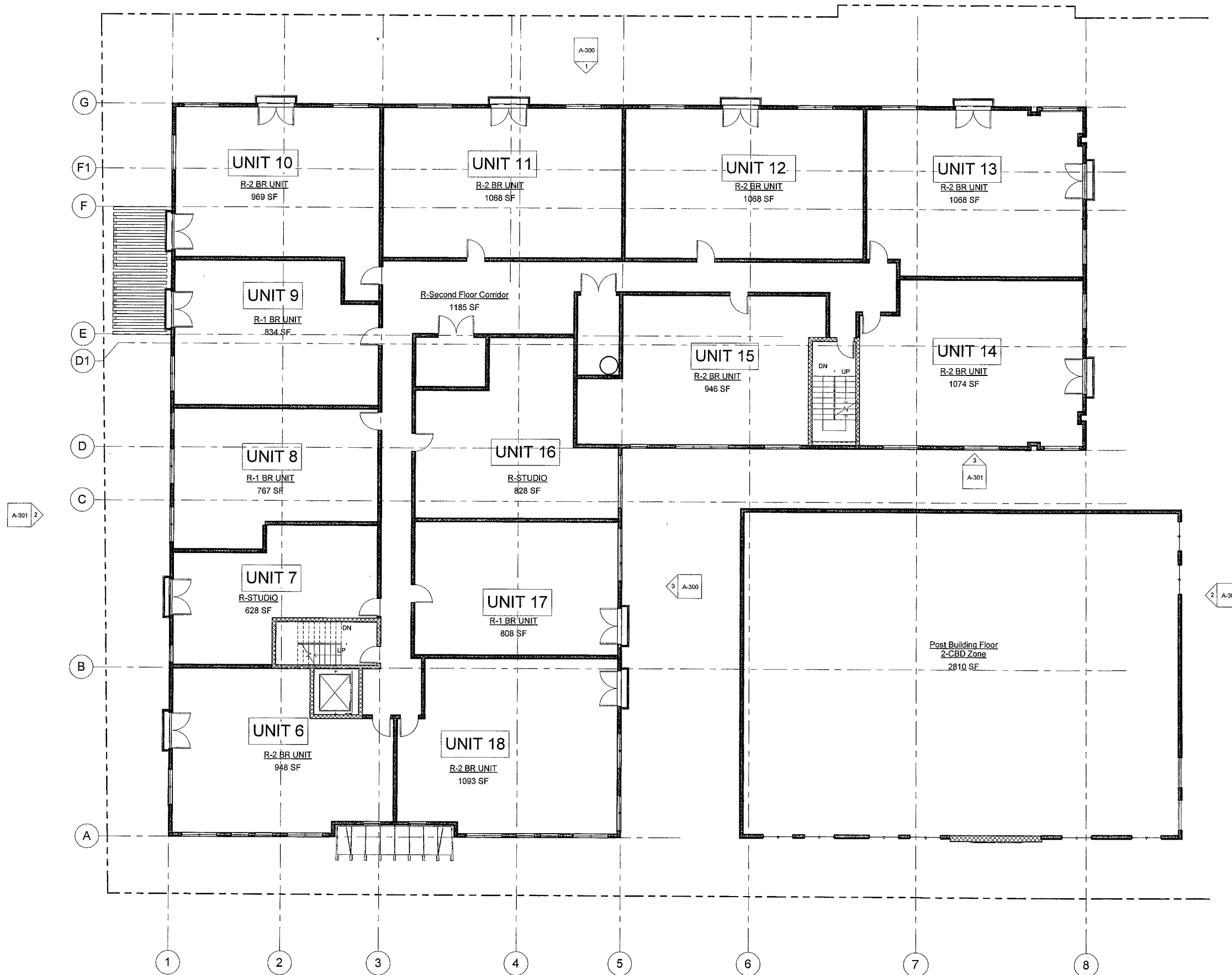
Project number 11006
Date 06-24-11
Drawn by KK
Checked by JSK
Scale 1/8" = 1'-0"

REVISIONS

No.	Description	Date
1	Studio units count	07-19-11

1st Floor Plan

A-101
Summer Street Residences



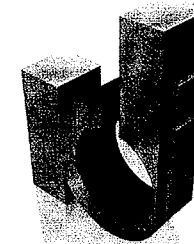
① 2nd Floor Level
1/8" = 1'-0"

PROJECT NAME
Summer Street Residences

PROJECT ADDRESS
351 Summer Street
Somerville MA 02143

CLIENT
Strategic Capital Group, LLC.

ARCHITECT
KHALSA DESIGN INC.



17 VALUO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



Project number 11006
Date 06-24-11
Drawn by KK
Checked by JSK
Scale 1/8" = 1'-0"

REVISIONS		
No.	Description	Date
1		

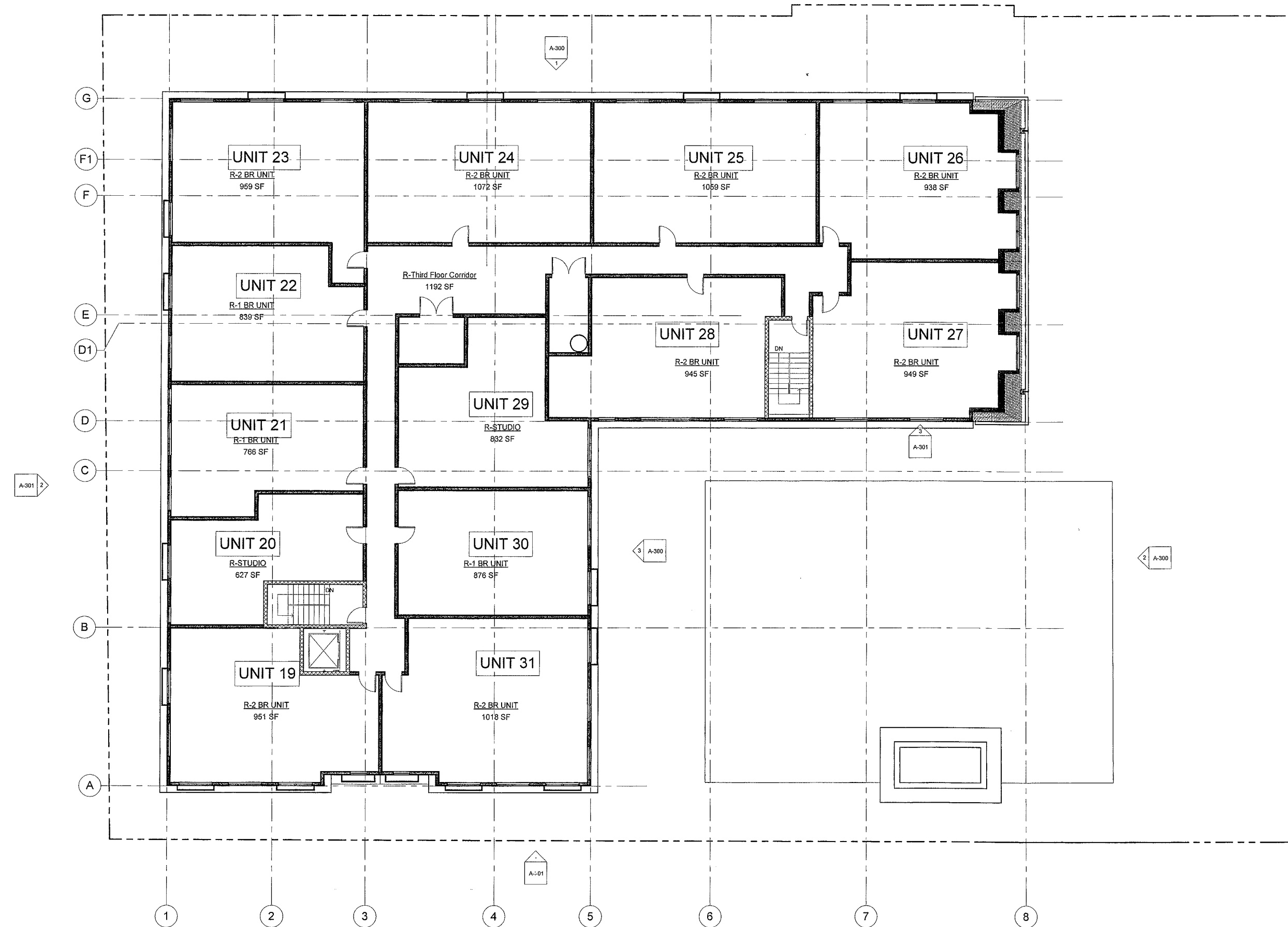
2nd Floor Plan

A-102

Summer Street Residences

GV1111006 - 04-06-11 Summer Street 201103 Drawings00_ARCH_SD_DD06v111006_SUMMER ST_06-24-2011.dwg

7/28/2011 4:39:33 PM



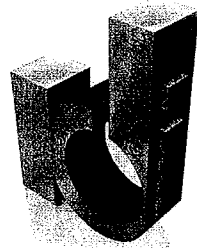
① 3rd Floor Level
1/8" = 1'-0"

PROJECT NAME
**Summer Street
Residences**

PROJECT ADDRESS
351 Summer Street
Somerville MA 02143

CLIENT
**Strategic Capital
Group,LLC.**

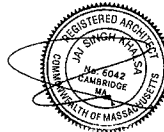
ARCHITECT
KHALSA DESIGN INC.



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SOMERVILLE, MA 02143
TELEPHONE: 617-591-8882 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



Project number 11006
Date 06-24-11
Drawn by KK
Checked by JSK
Scale 1/8" = 1'-0"

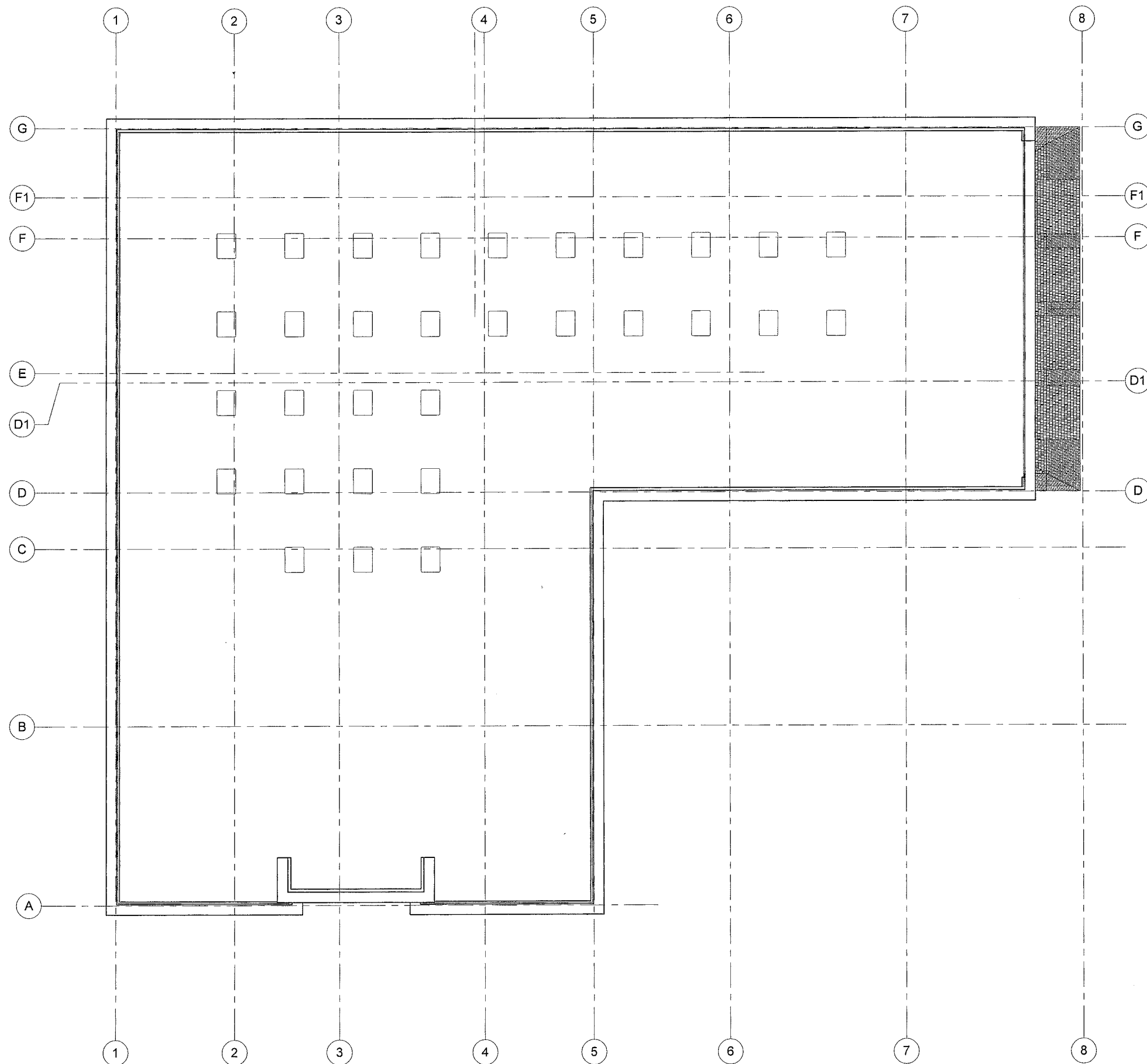
REVISIONS

No.	Description	Date
1		

3rd Floor Plan

A-103

Summer Street Residences

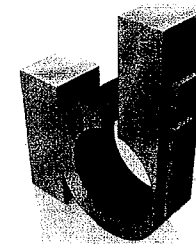


① 4-Roof Level
1/8" = 1'-0"

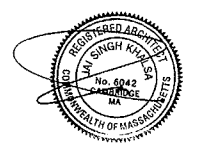
PROJECT NAME
Summer Street Residences

PROJECT ADDRESS
351 Summer Street
Somerville MA 02143

CLIENT
Strategic Capital Group,LLC.

ARCHITECT
KHALSA DESIGN INC.

17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION


Project number	11006
Date	08-24-11
Drawn by	KK
Checked by	JSK
Scale	1/8" = 1'-0"

No.	Description	Date

Roof Plan

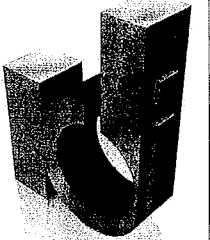
A-104
Summer Street Residences

PROJECT NAME
**Summer Street
Residences**

PROJECT ADDRESS
351 Summer Street
Somerville MA 02143

CLIENT
**Strategic Capital
Group, LLC.**

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KHALSA DESIGN INC.



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SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



Project number 11006
Date 06-24-11
Drawn by KK
Checked by JSK
Scale 1/8" = 1'-0"

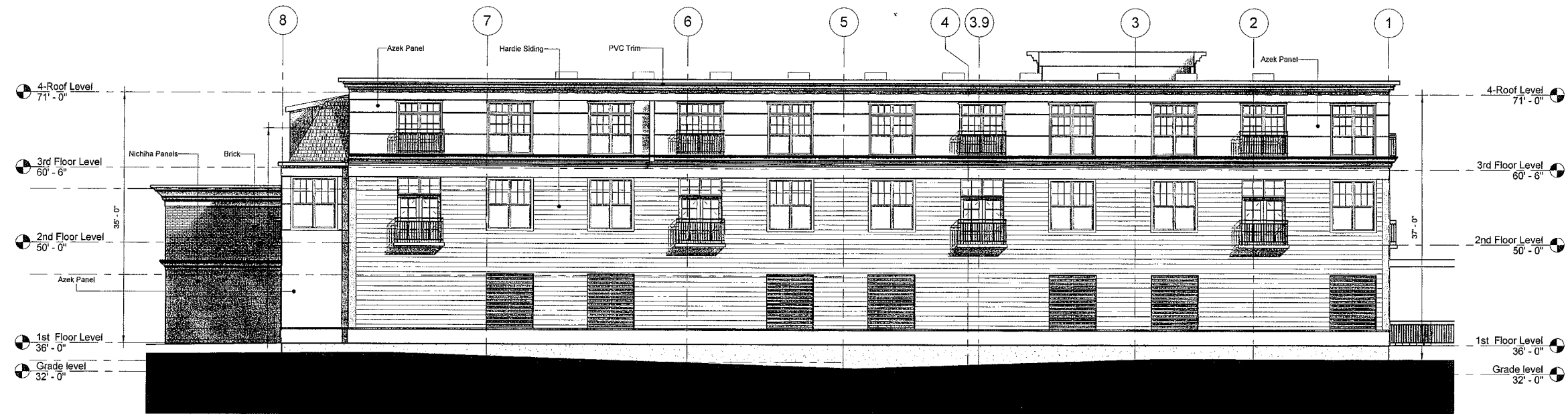
REVISIONS

No.	Description	Date
1		

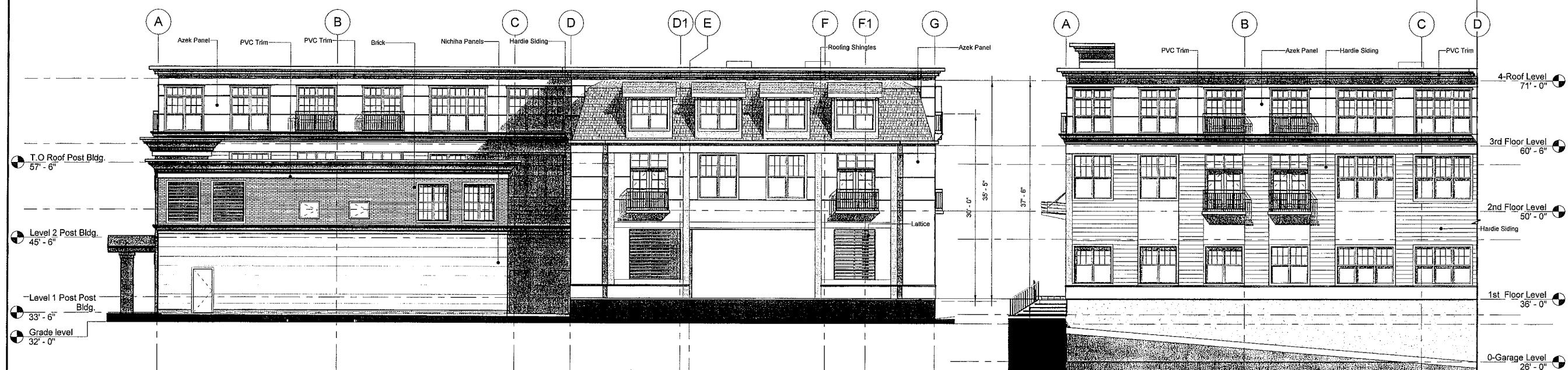
North & East
Elevations

A-300

Summer Street Residences

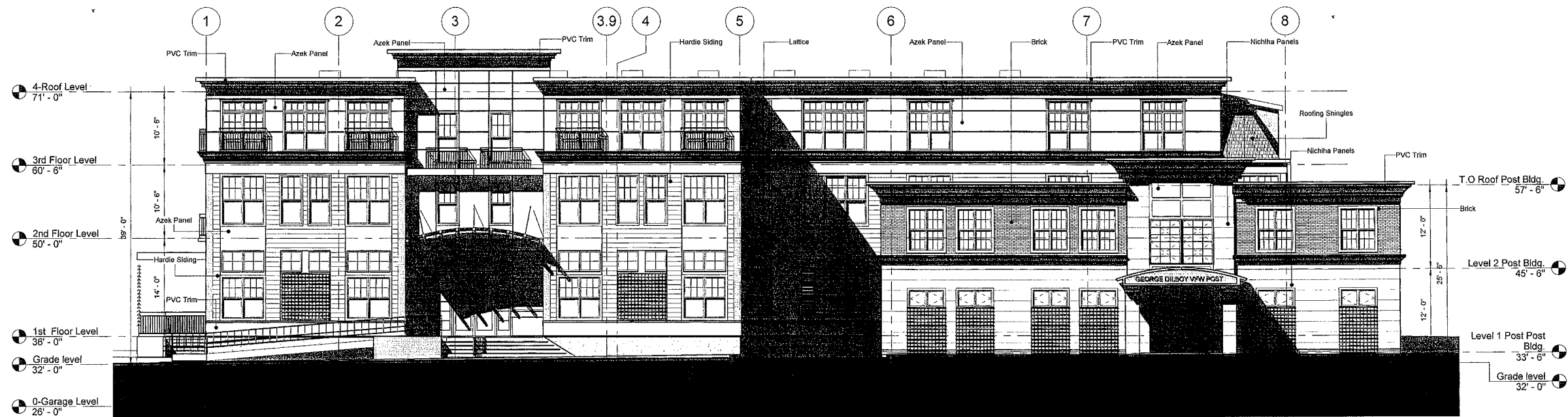


1 North Elevation
1/8" = 1'-0"

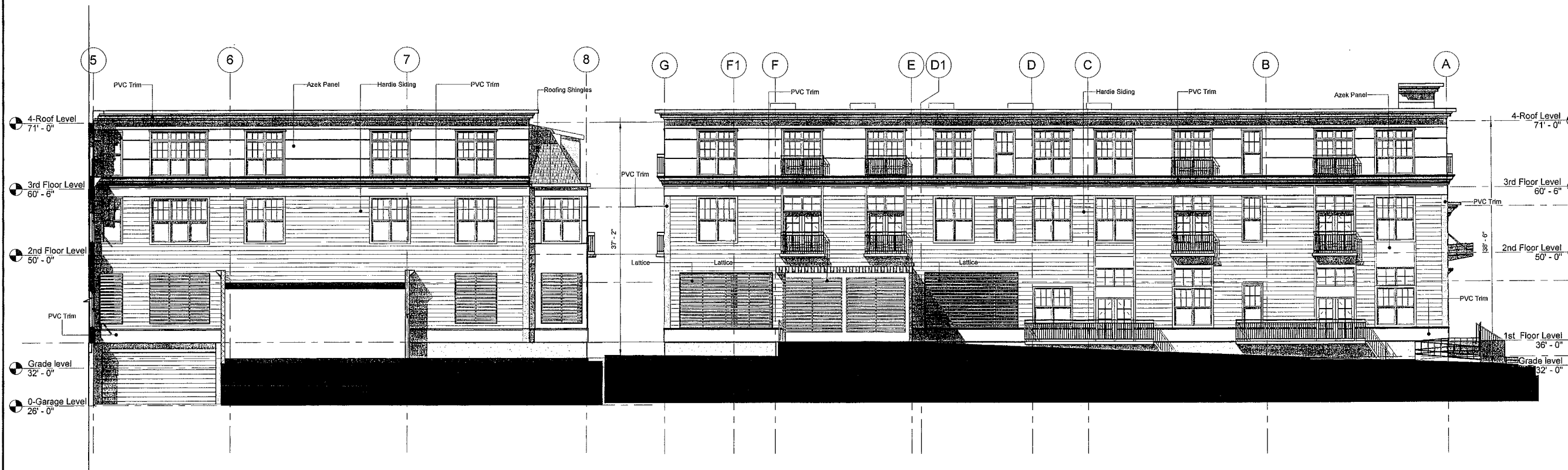


2 East Elevation
1/8" = 1'-0"

3 East Elevation-2
1/8" = 1'-0"



① South Elevation
1/8" = 1'-0"



③ South Elevation-2
1/8" = 1'-0"

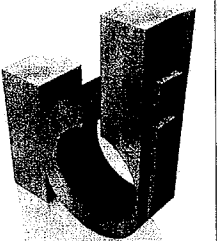
② West Elevation
1/8" = 1'-0"

PROJECT NAME
**Summer Street
Residences**

PROJECT ADDRESS
351 Summer Street
Somerville MA 02143

CLIENT
**Strategic Capital
Group, LLC.**

ARCHITECT
KHALSA DESIGN INC.



17 WALDO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



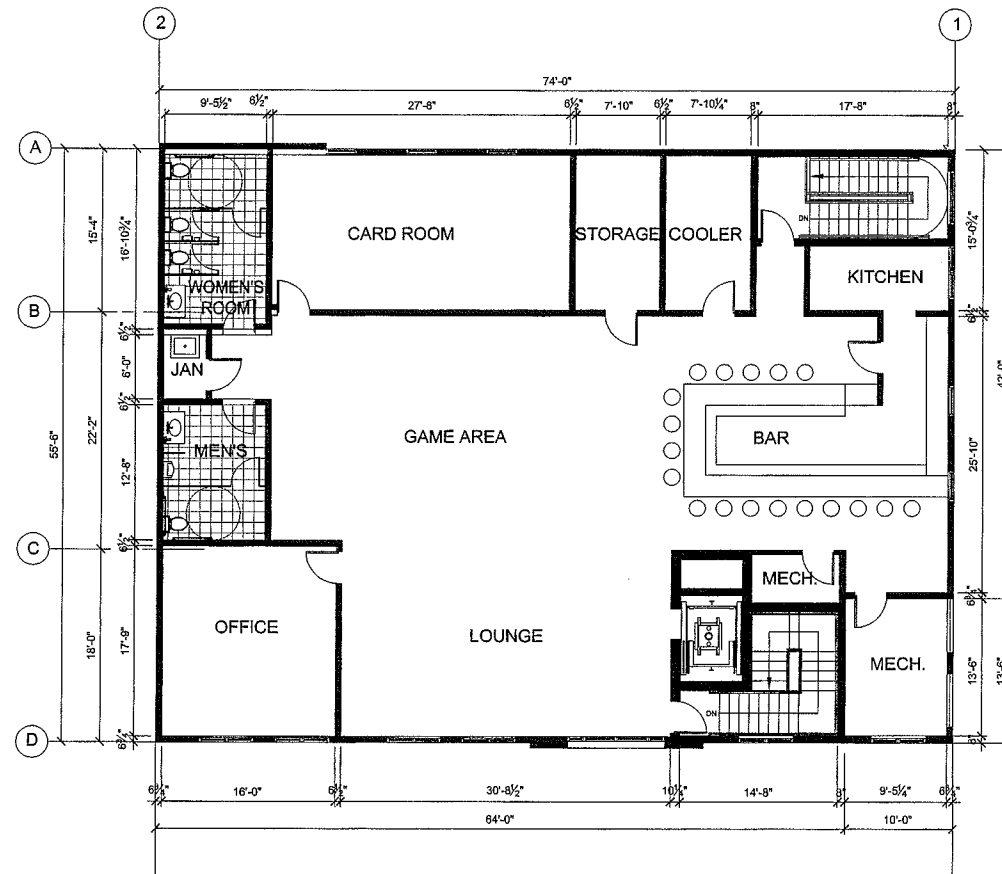
Project number 11006
Date 06-24-11
Drawn by KK
Checked by JSK
Scale 1/8" = 1'-0"

REVISIONS

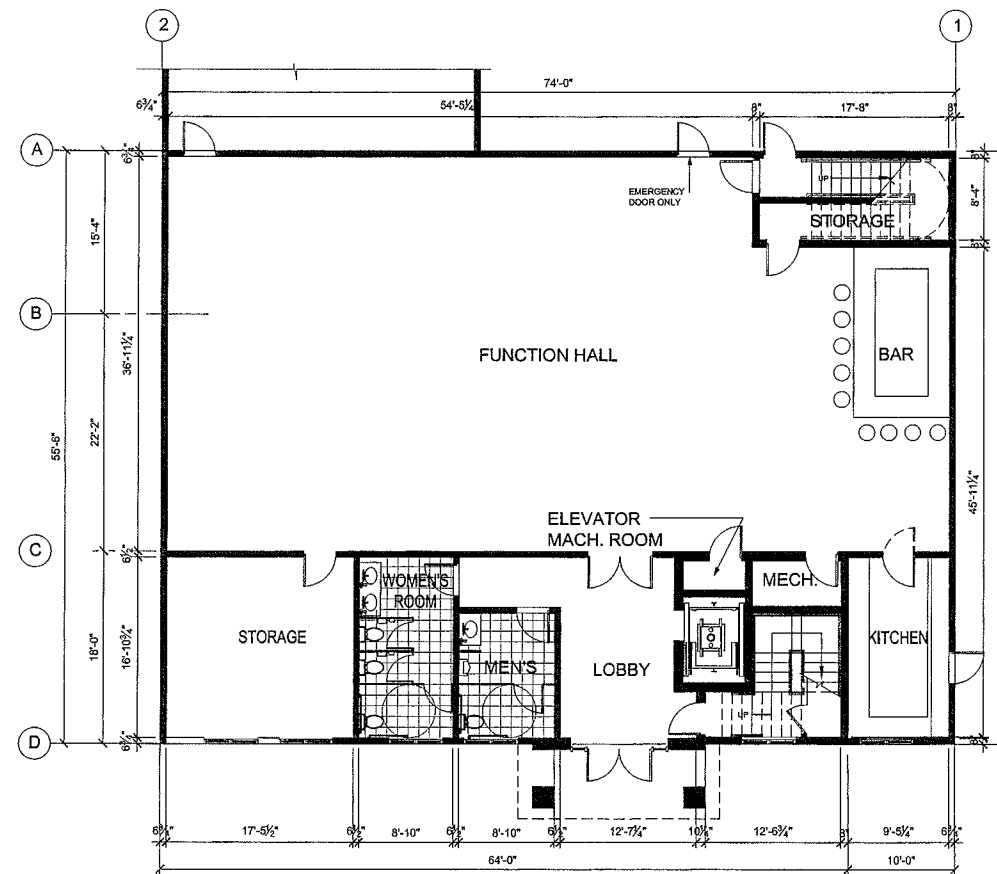
No.	Description	Date
1		

South & West
Elevations

A-301
Summer Street Residences



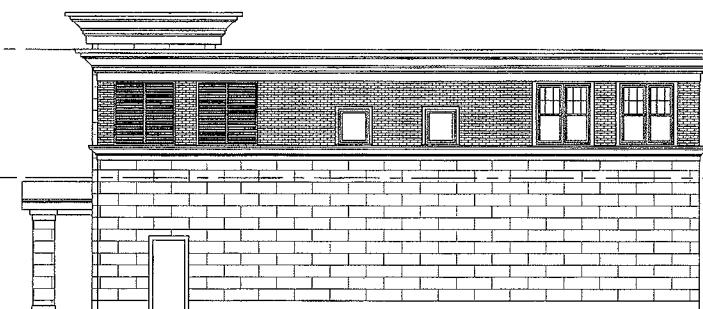
SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"



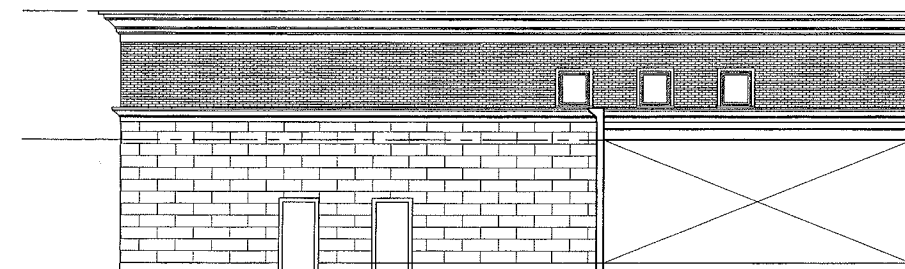
GROUND FLOOR PLAN
SCALE 1/8" = 1'-0"



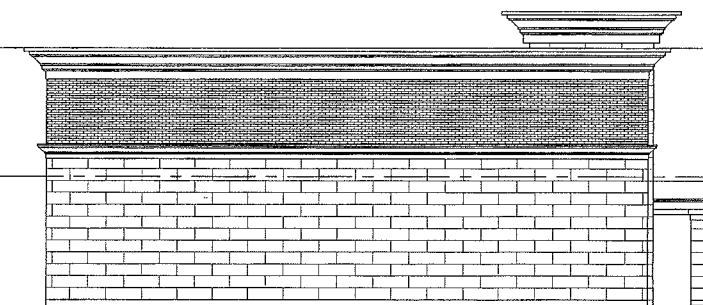
FRONT ELEVATION
SCALE 1/8" = 1'-0"



RIGHT SIDE ELEVATION
SCALE 1/8" = 1'-0"



REAR ELEVATION
SCALE 1/8" = 1'-0"



LEFT SIDE ELEVATION
SCALE 1/8" = 1'-0"

PROJECT NAME
Summer Street
Residences & Dilboy
Post Building

PROJECT ADDRESS
351 Summer Street
Somerville MA 02143

CLIENT
Strategic Capital
Group, LLC.

ARCHITECT
KHALSA DESIGN INC.

17 VALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8882 FAX: 617-591-2088

CONSULTANTS:

REGISTRATION



Project number 07042
Date 06-24-11
Drawn by KK-IL
Checked by JSK
Scale

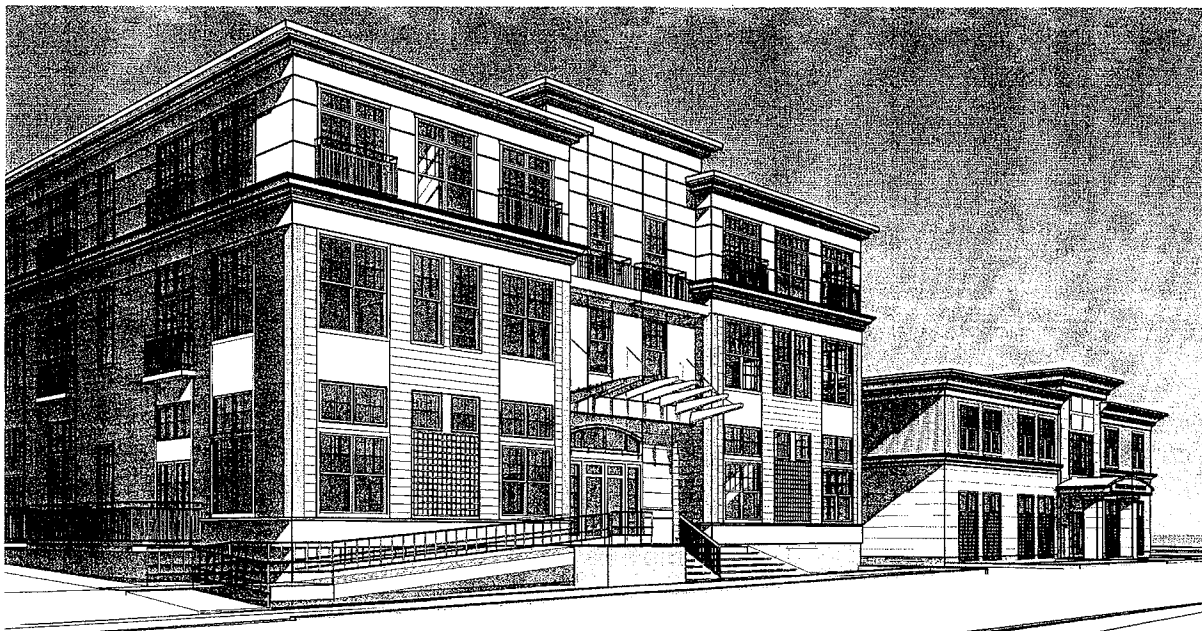
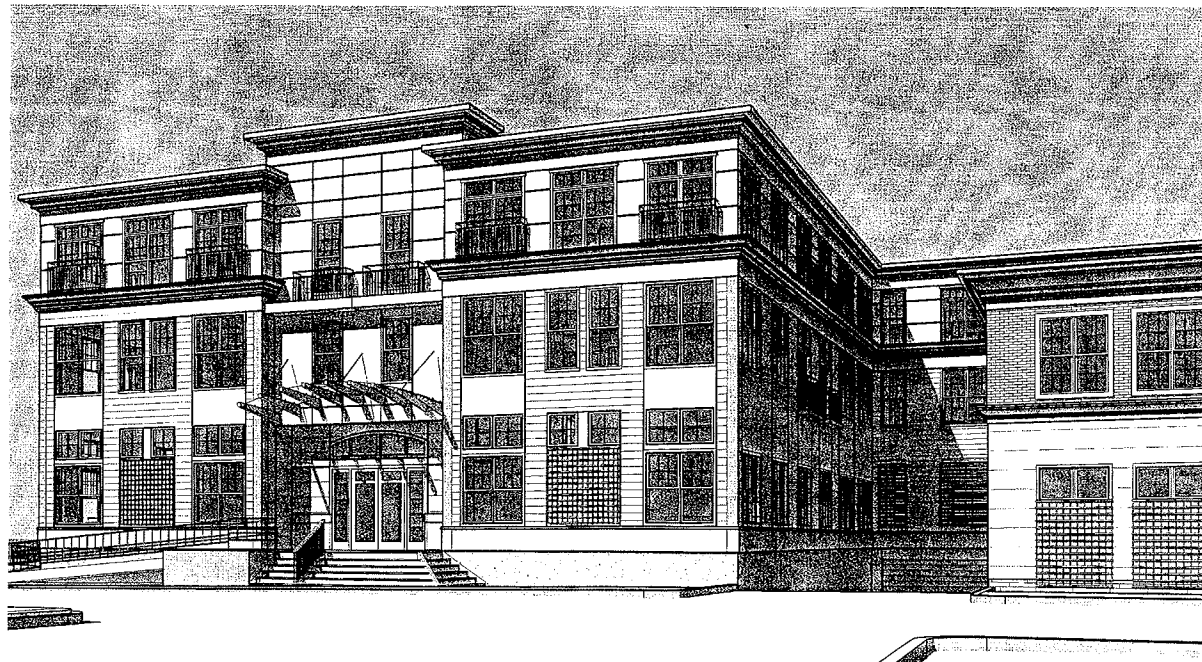
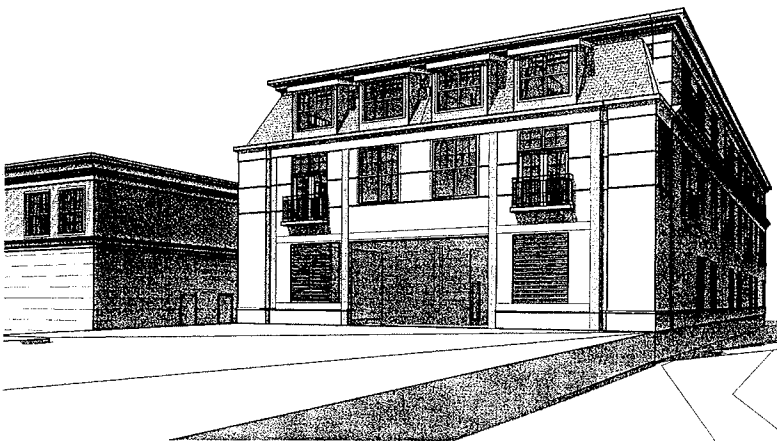
REVISIONS

No.	Description	Date

Dilboy Post

A-302

Summer Street residences

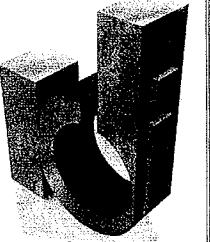


PROJECT NAME
**Summer Street
Residences**

PROJECT ADDRESS
351 Summer Street
Somerville MA 02143

CLIENT
**Strategic Capital
Group, LLC.**

ARCHITECT
KHALSA DESIGN INC.



17 IVANCO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



Project number 11006
Date 06-24-11
Drawn by KK
Checked by JSK
Scale

REVISIONS

No.	Description	Date
1		

Perspective views

A-901

Summer Street Residences



SUMMER STREET SOMERVILLE MA

PROJECT NAME

**Summer Street
Residences**

PROJECT ADDRESS

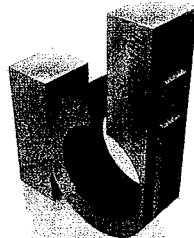
351 Summer Street
Somerville MA 02143

CLIENT

**Strategic Capital
Group, LLC.**

ARCHITECT

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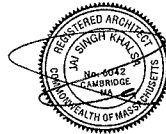


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SOMERVILLE, MA 02143

TELEPHONE: 617-591-8882 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



Project number 11006
Date 06-24-11
Drawn by KK
Checked by JSK
Scale

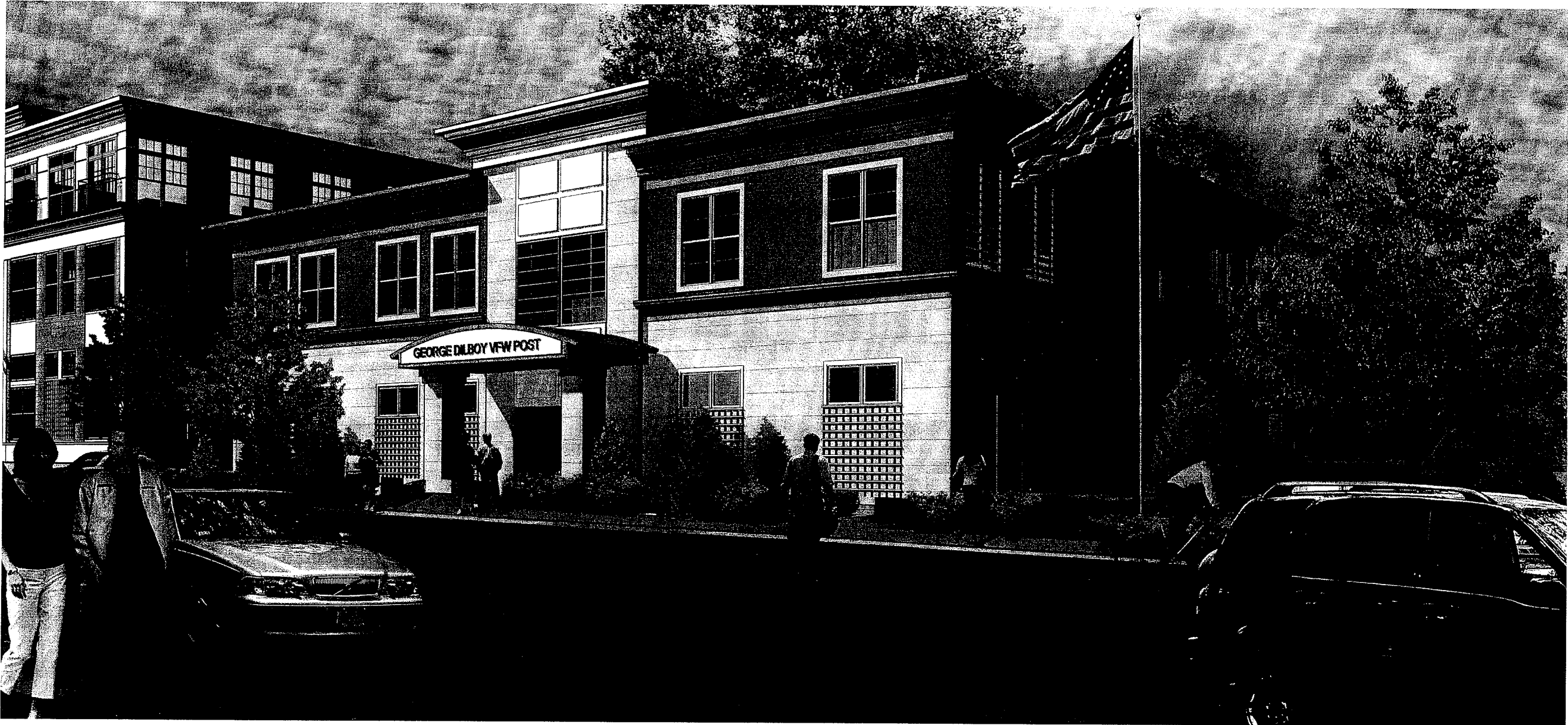
REVISIONS

No.	Description	Date

Perspective View

A-902

Summer Street Residences

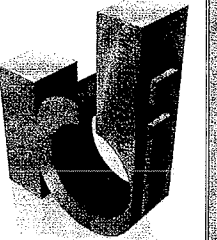


PROJECT NAME
**Summer Street
Residences**

PROJECT ADDRESS
351 Summer Street
Somerville MA 02143

CLIENT
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ARCHITECT
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SOMERVILLE, MA 02143
TELEPHONE: 617-591-8882 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



Project number 11006
Date 06-24-11
Drawn by KK
Checked by JSK
Scale

REVISIONS		
No.	Description	Date

Perspective view

A-903

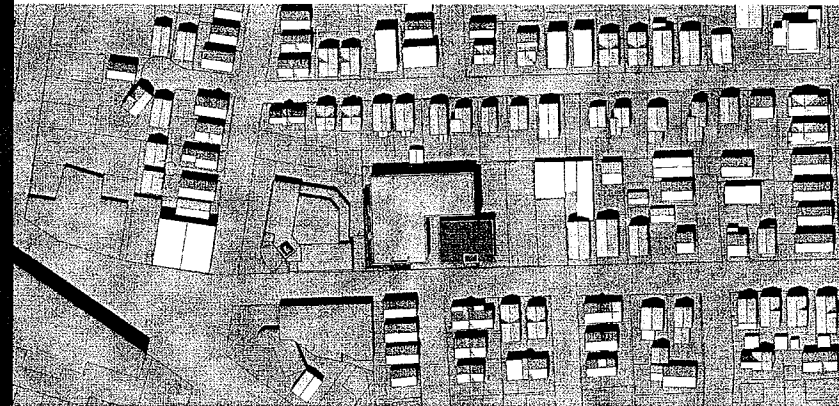
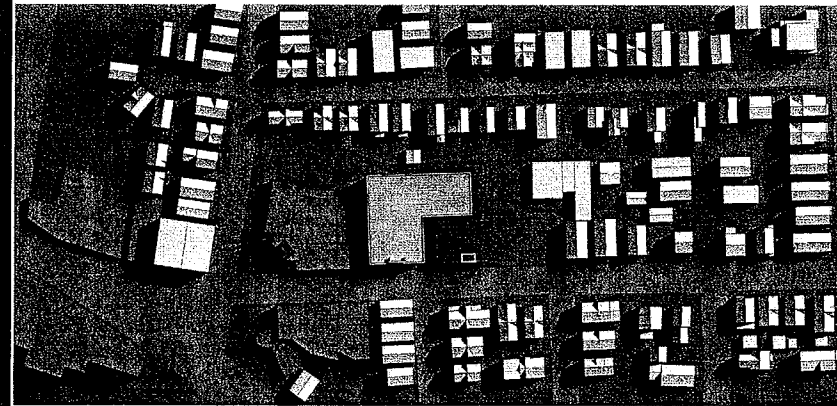
Summer Street Residences

MORNING (9-10 AM)

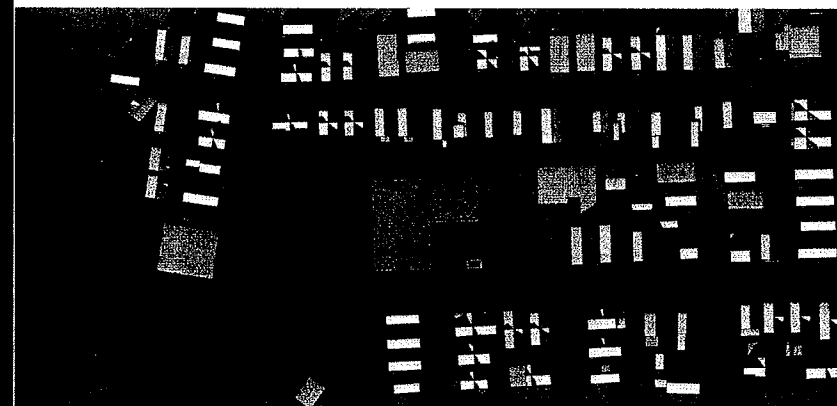
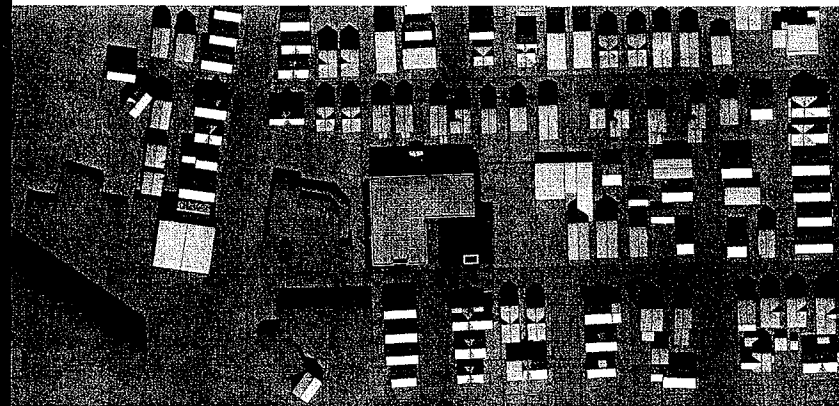
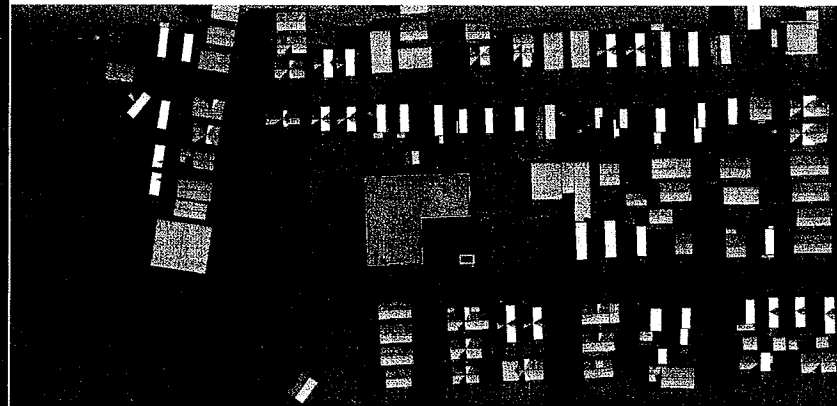
NOON (12 AM-1 PM)

AFTERNOON (3-4 PM)

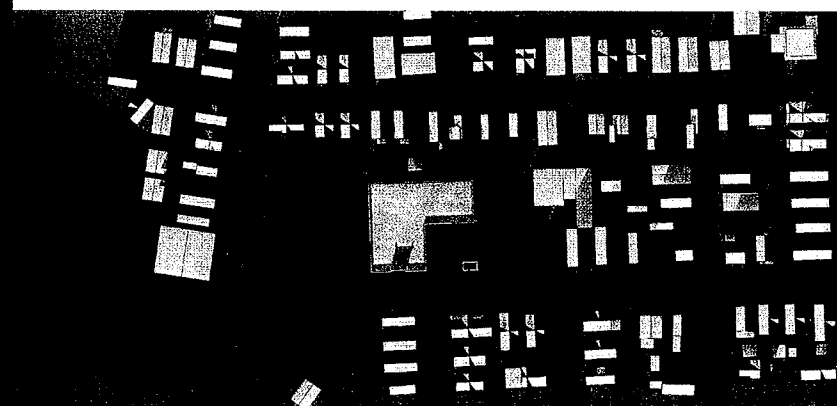
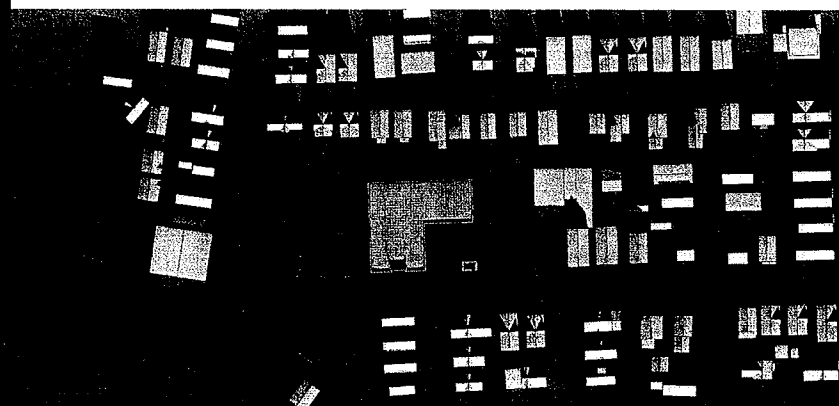
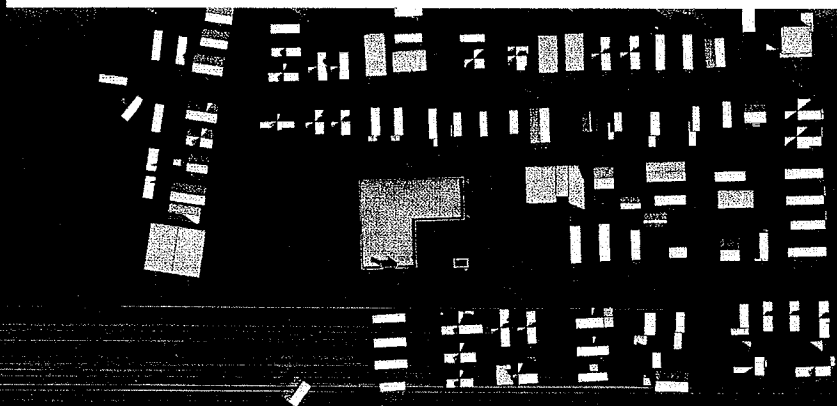
SUMMER SOLSTICE



FALL / SPRING EQUINOX



WINTER SOLSTICE

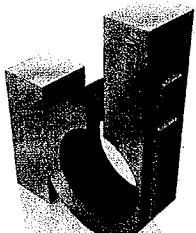


PROJECT NAME
Summer Street Residences

PROJECT ADDRESS
351 Summer Street
Somerville MA 02143

CLIENT
Strategic Capital Group, LLC

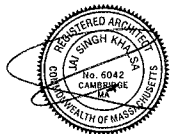
ARCHITECT
KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



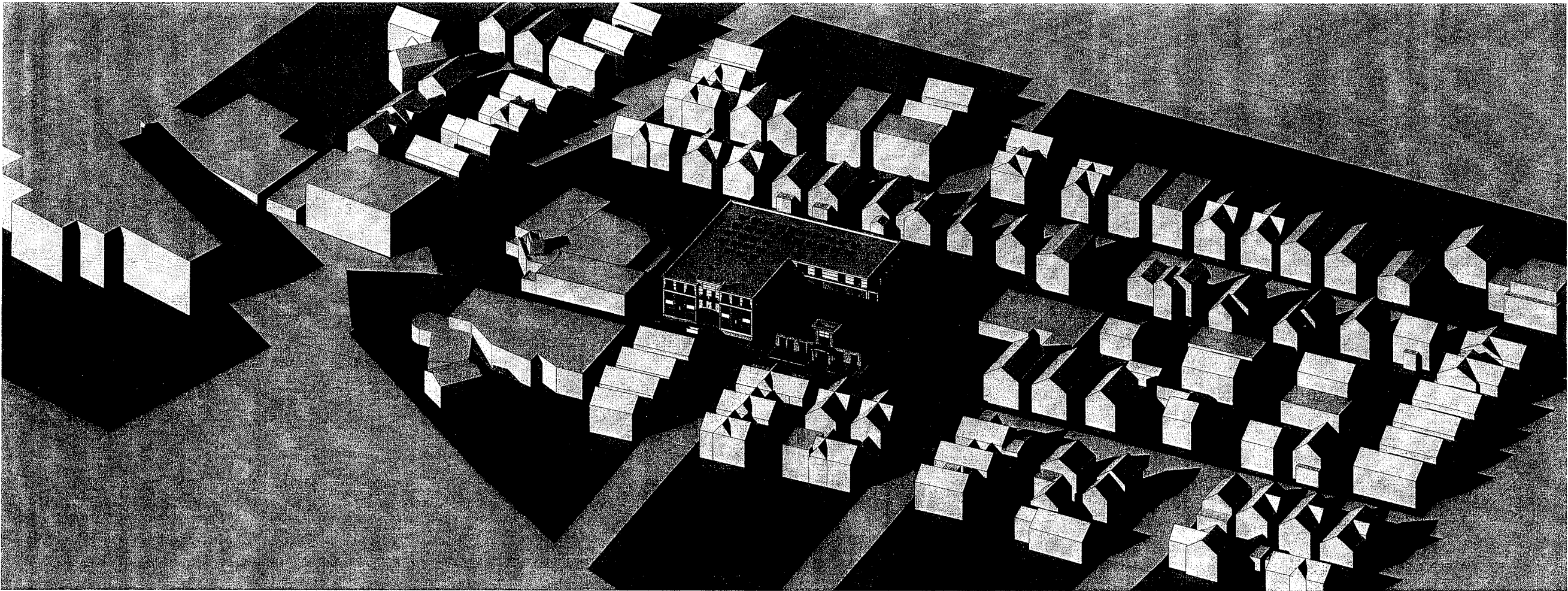
Project number 11006
Date 06-24-11
Drawn by KK
Checked by JSK
Scale 1/2" = 1'-0"

REVISIONS		
No.	Description	Date

Shadow Studies

A904

Summer Street Residences



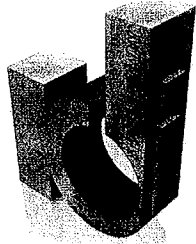
① Aerial Site View

PROJECT NAME
**Summer Street
Residences**

PROJECT ADDRESS
351 Summer Street
Somerville MA 02143

CLIENT
**Strategic Capital
Group, LLC**

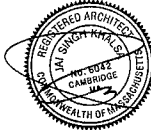
ARCHITECT
KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8882 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



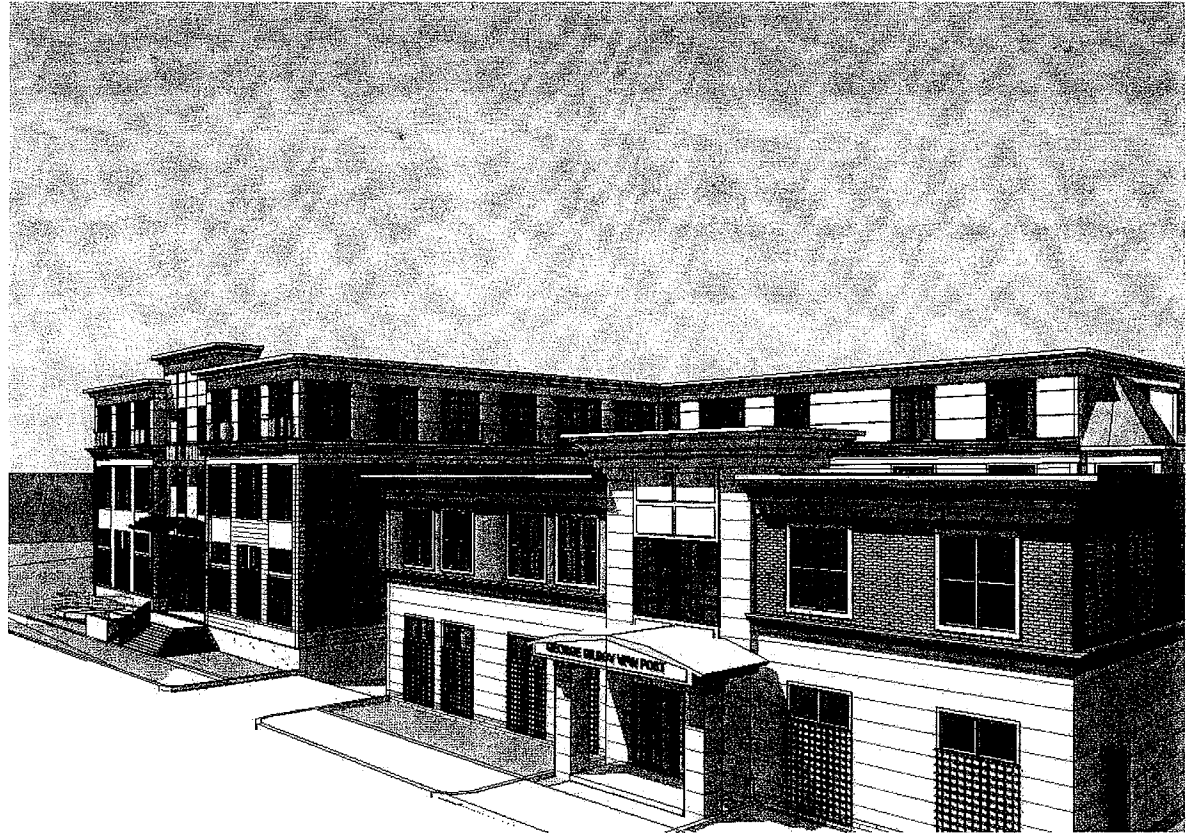
Project number 11006
Date 06-24-11
Drawn by KK
Checked by JSK
Scale

REVISIONS		
No.	Description	Date

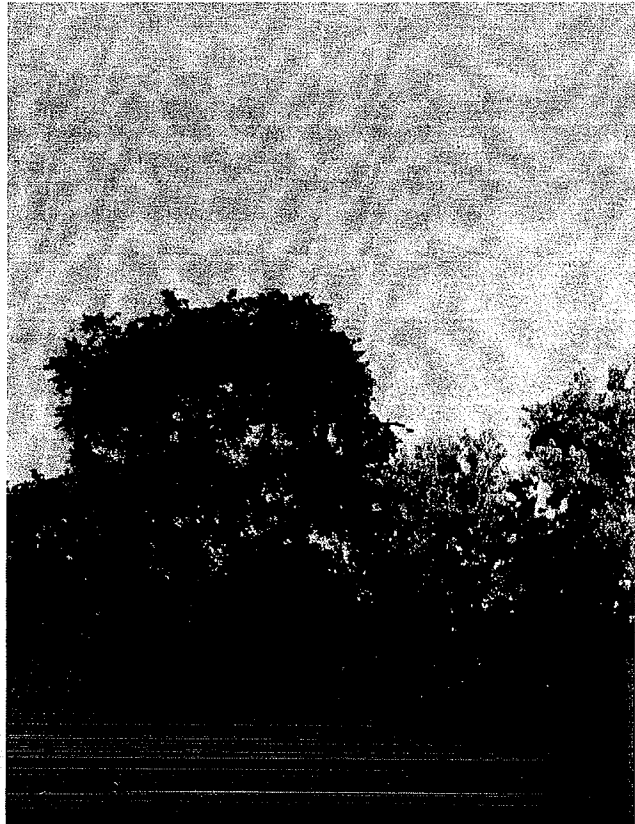
Aerial Site View

A905

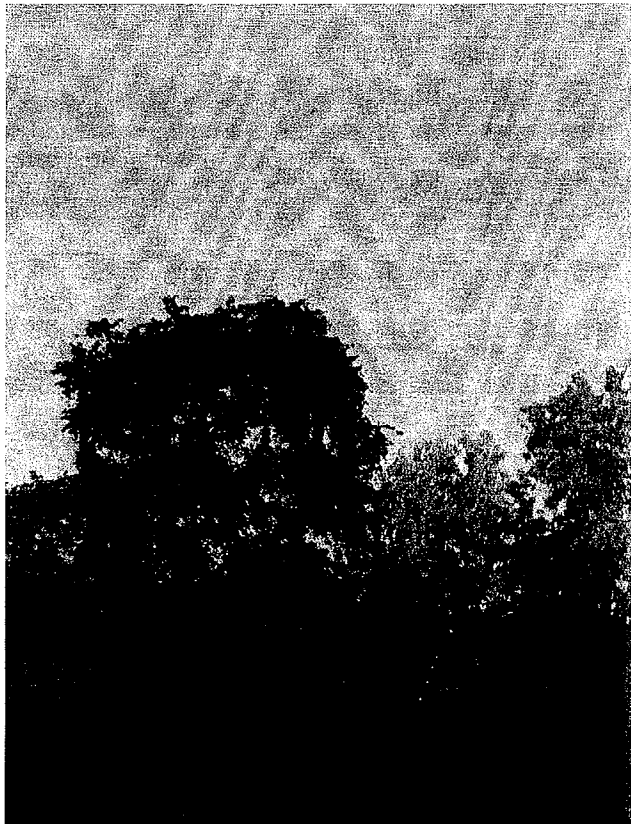
Summer Street Residences



VIEW FROM ACROSS SUMMER STREET AT ELEVATION 27'



SUMMER VIEW FROM
48-50 HAWTHORNE STREET



WINTER VIEW FROM
48-50 HAWTHORNE STREET



SUMMER VIEW FROM
36 HAWTHORNE STREET



WINTER VIEW FROM
36 HAWTHORNE STREET

PROJECT NAME
**Summer Street
Residences**

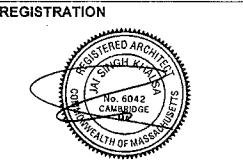
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CONSULTANTS:



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Scale

REVISIONS		
No.	Description	Date

Perspective views
from neighbors

A-906
Summer Street Residences