

GENERAL NOTES

- All contractors shall inspect site prior to bidding to verify existing conditions for themselves.
- The Contractor shall supply all plant material in quantities sufficient to complete the planting shown on the drawings.
- All plant material shall conform to the guidelines established by "The American Standard for Nursery Stock", published by the American Association of Nurserymen, Inc. ANSI Z60.1-Current Edition.
- All plants to be balled in burlap or container grown. No plastic burlap.
- All plants to be approved by the Landscape Architect.
- Stake location of all proposed plant material for approval of Landscape Architect prior to commencement of planting.
- The landscape contractor shall guarantee all plant materials for one (1) full year from date of acceptance.
- Heal all construction scars with lawn or mulch, as indicated by drawings and/or Landscape Architect.
- Street Trees shall remain and have installed in a 4x4' ADA compliant tree grate.

SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
EVERGREEN TREES						
PS	5	PINUS STROBUS	EASTERN WHITE PINE	5'-6"	B&B	NATURAL SHAPE, UNSHEARED
TP	5	THUJA O. 'SMARAGD'	EMERALD GREEN ARBORVITAE	5'-6"	B&B	NATURAL SHAPE, UNSHEARED
DECIDUOUS AND ORNAMENTAL TREES						
AG	3	AMELANCHIER GRANDIFLORA 'ROBIN HILL'	ROBIN HILL SERVICEBERRY	6'-7"	B&B	(7) + STEM CLUMP
BNC	1	BETULA NIGRA 'NORTAGE'	NORTAGE BIRCH	6'-7"	B&B	(3) STEM CLUMP SPECIMEN
GT	8	GLADIOLUS 'TRACANTHOS' 'SKYLINE'	SKYLINE HONEYLOCUSTS	2 1/2'-3'	B&B	STRAIGHT SINGLE LEADER SPECIMEN
PA	1	PLATANUS ACERIFOLIA 'BLOODGOOD'	BLOODGOOD LONDON PLANETREE	2 1/2'-3'	B&B	STRAIGHT SINGLE LEADER SPECIMEN
SHRUBS						
IM	1	ILEX X. MESERVAE 'BLUE PRINCESS'	BLUE PRINCESS HOLLY	5'-6"	B&B	SPECIMEN FEMALE
IGC	43	ILEX GLABRA 'COMPACTA'	DWARF HOLLIBERRY	2 1/2'-3'	B&B	
RI	10	RHODODENDRON 'BOULE DE NEIGE'	SNOW GLOBE RHODODENDRON	2 1/2'-3'	B&B	
PM	5	RHODODENDRON 'PINK'	PINK RHODODENDRON	2 1/2'-3'	B&B	
JS	39	JUNIPERUS C. 'SARGENT'	SARGENT JUNIPER	18'-24"	B&B	
PERENNIALS AND GROUNDCOVER						
HH	34	HIMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY'S	QAL	QAL	
IS	14	IRIS SIBERICA 'CAESARS BROTHER'	CAESARS BROTHERS IRIS	QAL	QAL	
VM	58	VINCA MINOR	PERIWINKLE	FLAT	FLAT	FLAT=50 FT (2/50')

OPEN SPACE:

TOTAL PROPERTY: 40,316 SQ'
LANDSCAPE AREA: 8,223 SQ'
LANDSCAPE AREA RATIO: 20.4%

GRAPHIC LEGEND

- EXISTING VEGETATION TO REMAIN
- EXISTING TREES TO REMAIN
- PROPOSED EVERGREEN TREES
- PROPOSED DECIDUOUS SHADE TREES / STREET TREES
- PROPOSED ORNAMENTAL & FLOWERING TREES
- PROPOSED EVERGREEN & DECIDUOUS SHRUBS
- PROPOSED PERENNIALS
- SPECIAL PAVING
- EVERGREEN GROUNDCOVER
- DROUGHT TOLERANT PLANTS
- TURF GRASS PAVERS
- 4' / 6' HIGH PERIMETER ACOUSTIC PRIVACY FENCE W/ 2' HIGH LATTICE TOPPER / 6' HIGH PRIVACY FENCE W/ TOPPER (4' HIGH FENCE NO LATTICE TOPPER)
- WALL MOUNTED CUT-OFF HORIZONTAL LIGHT FIXTURE 100 W HPS
- 12' HIGH POLE HIGH CUT-OFF LIGHT FIXTURE 150 W HPS

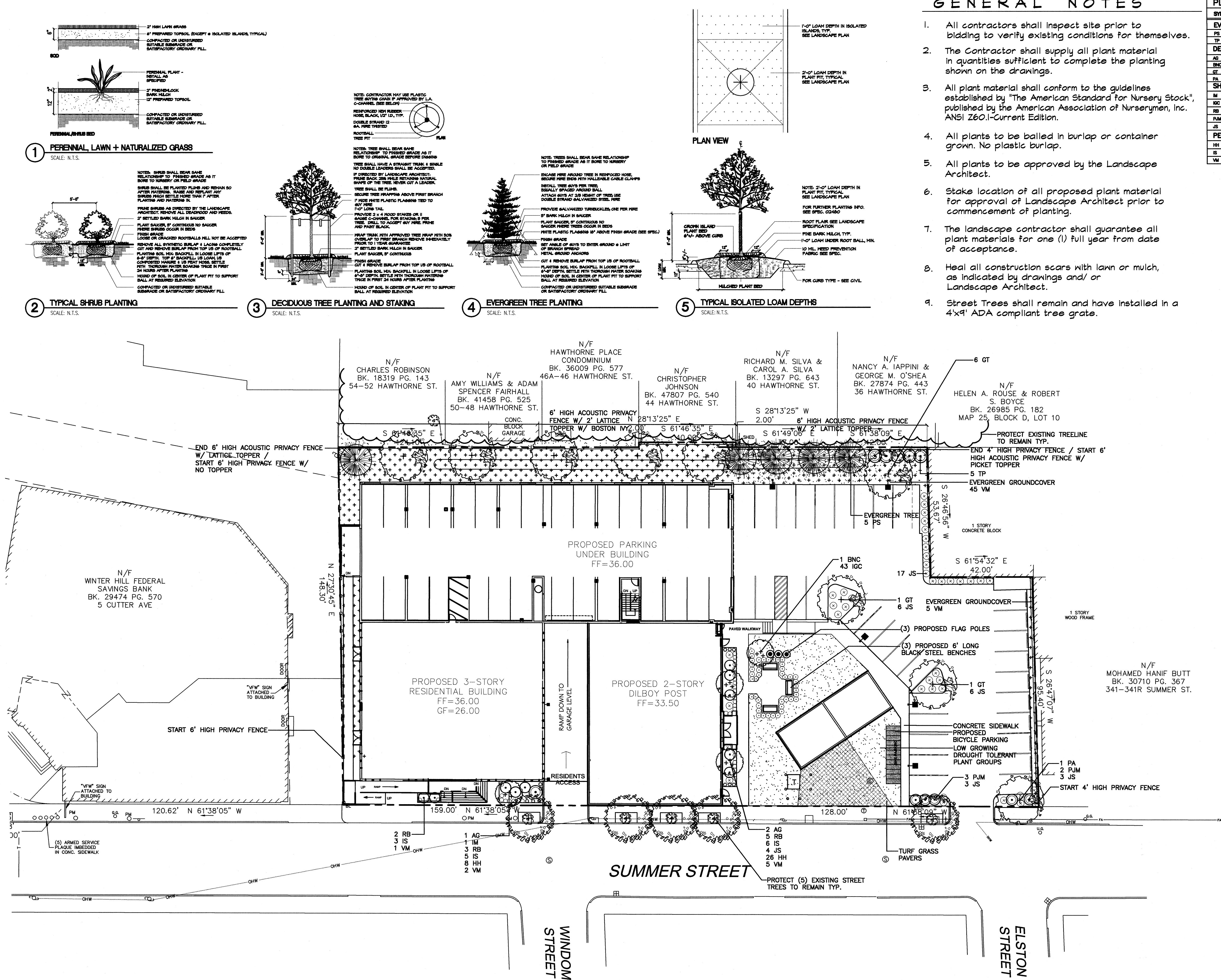
LANDSCAPE NOTES:

LOAM DEPTHS SHALL BE AS FOLLOWS:

- LAWN AREAS - 6" ROLLED THICKNESS
- PLANT BEDS - 1'-0" LOAM DEPTH IN THE PLANTED AREA WITH 2" MULCH.
- ISOLATED PLANTED ISLANDS - 1'-0" LOAM DEPTH

SITE LIGHTING

Due to the urban nature of the site, lighting levels have been designed as minimal and offer the motorist direction in and out of the project site. Light levels at the parking areas have been increased due to the increase of motorist and pedestrian activity. Lighting levels will be augmented by Architectural wall mounted / soffit lighting on the Buildings. All site fixtures are to have High Cut-Off Optics with house shields where required.



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Consulting Engineers and Surveyors

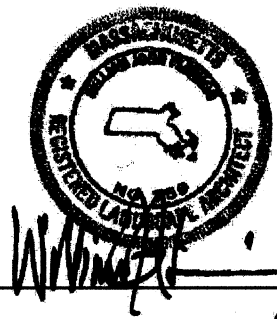
GRANDE SPAULDING BUILDING
120 MIDDLESEX AVENUE SUITE 20
SOMERVILLE, MA 02145
(617) 776-3350

WILLIAM FLEMING ASSOCIATES
LANDSCAPE ARCHITECTURE
PLANNING

5 Central Square
Third Floor
Salem, MA 01810
T 781 488 3088
F 781 488 3011
W wfla@williamfleming.com

SCALE:
HORIZ: 1" = 20'

NO.	DATE	BY	REVISIONS



DESIGNED: WFA
DRAFTED: WFA
CHECKED: WFA
APPROVED: WFA

LANDSCAPE PLAN

343-351 SUMMER STREET

PLAN OF LAND IN
SOMERVILLE, MASSACHUSETTS
PREPARED FOR
STRATEGIC CAPITAL GROUP LLC

PROJECT NO.
2008-038
DATE:
SEPTEMBER 22, 2011
SHEET NO.
1 OF 1

	res units	pkg req	total req	total provided
<u>Parking for Residential in Garage</u>				
studios	4	1	4	
1-bedroom units	9	1.5	13.5	
2-bedroom units	18	1.5	27	
	31		45	45
visitor parking (surface) - 1/6 units			6	6
<u>Parking for Dilboy Post Building</u>			req	provided
assembly space in sf	2,478			
seating capacity - 15sf/person	165			
parking required - 1 / 6 people			28	42
<u>Commercial Parking</u>				15
total parking			78	108
<u>Parking Stall Sizes</u>			req	provided
full size - 9' x 18'			57	76
compact			15	28
handicap parking			4	4
			76	108

Summer Street Residences

351 Summer Street
Somerville MA 02143

**Strategic Capital
Group, LLC.**

17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

Project number	11006
Date	09-23-11
Drawn by	KK
Checked by	JSK
Scale	1/16" = 1'-0"

REVISIONS

[illegible]

Zoning Site Plan

.AZ-010

Summer Street Residences

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SECTION 8.6-20. HEIGHT LIMIT FOR STRUCTURES ABUTTING RESIDENTIAL DISTRICTS: WHERE A LOT ABUTS AN RA, RB OR RC ZONING DISTRICT LINE, ANY STRUCTURE (OR PORTION OF A STRUCTURE) WITHIN THIRTY (30) FEET OF SAID DISTRICT LINE SHALL BE LIMITED TO THREE (3) STORIES AND FORTY (40) FEET IN HEIGHT

SECTION 8.5 10 FT PLUS 2 FT PER STORY OVER FIRST FLOOR EQUALS 14 FEET,
SECTION 8.6 FOOTNOTE 12 WHEN A BUSINESS ZONE ABUTS A RESIDENTIAL ZONE THEN
1/3 HEIGHT MINIMUM 15 FEET SO $39/3 = 13$ FEET, SO 15 FEET MINIMUM REQUIRED

SECTION 8.5 20 FT

14 units have 2 spaces 11 are tandem
no units share spaces

**SECTION 8.6 14 PROJECTIONS INTO REAR YARDS
CAN BE 1/4 REAR SETBACK [OR 5 FT] BUT IN NO CASE
LESS THAN 10 FT SETBACK.**

SECTION 8.5 2 1/2 STORIES 30 FT

RESIDENTIAL BUILDING
3 STORIES 39.5 FEET &
2 STORIES 39.5 FT IN RA ZONE

CBD ZONE

RB ZONE

RA ZONE

RB ZONE

RA ZONE



SIDE SETBACK IN CBD ZONE

SECTION 8.5
ONE REQUIRED

CBD ZONE

NB ZONE

FRONT SETBACK IN CBD ZONE
SECTION 8.5
NONE REQUIRED: 9.5 FT PROVIDED

SUMMER STREET

CBD ZONE

RA ZONE

— 15 FEET MINIMUM EXCEPTION
UNDER SECTION 8.6 FOOTNOTE '5'
10 FT STREET AVERAGED SETBACK
IN A RA ZONE; 76 FT + PROVIDED

COVERAGE

CBD 17,734 / 23,511 SF (lot area) = 75.4% : 80% ALLOWED

RA 281 SF / 16,805 SF (lot area) = 1.6% : 50% ALLOWED

TOTAL COVERAGE 18,015 / 40,316 SF(lot area) = 44.6% PROVIDED

OPEN SPACE

CBD 3603 / 23,511SF (lot area) = 15.3% : 10% REQUIRED

RA 7142 / 16,805 (lot area) = 42.4% : 25% REQUIRED

TOTAL COMBINED 3603 + 7142 SF = 10,745 SF OR 26.6% PROVIDED

① Zoning Site Plan
1/16" = 1'-0"

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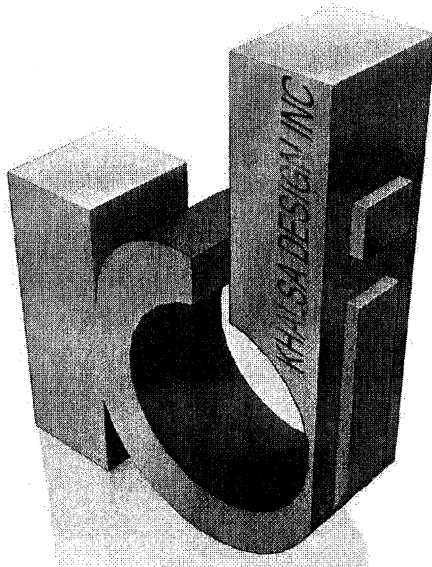
351 Summer Street
Somerville MA 02143

CLIENT

Strategic Capital
Group,LLC.

ARCHITECT

KHALSA DESIGN INC.

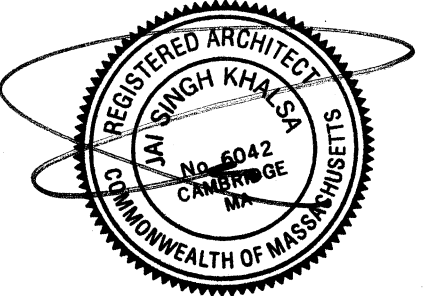


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TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

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Project number 11006
Date 09-23-11
Drawn by KK
Checked by JSK
Scale 1/8" = 1'-0"

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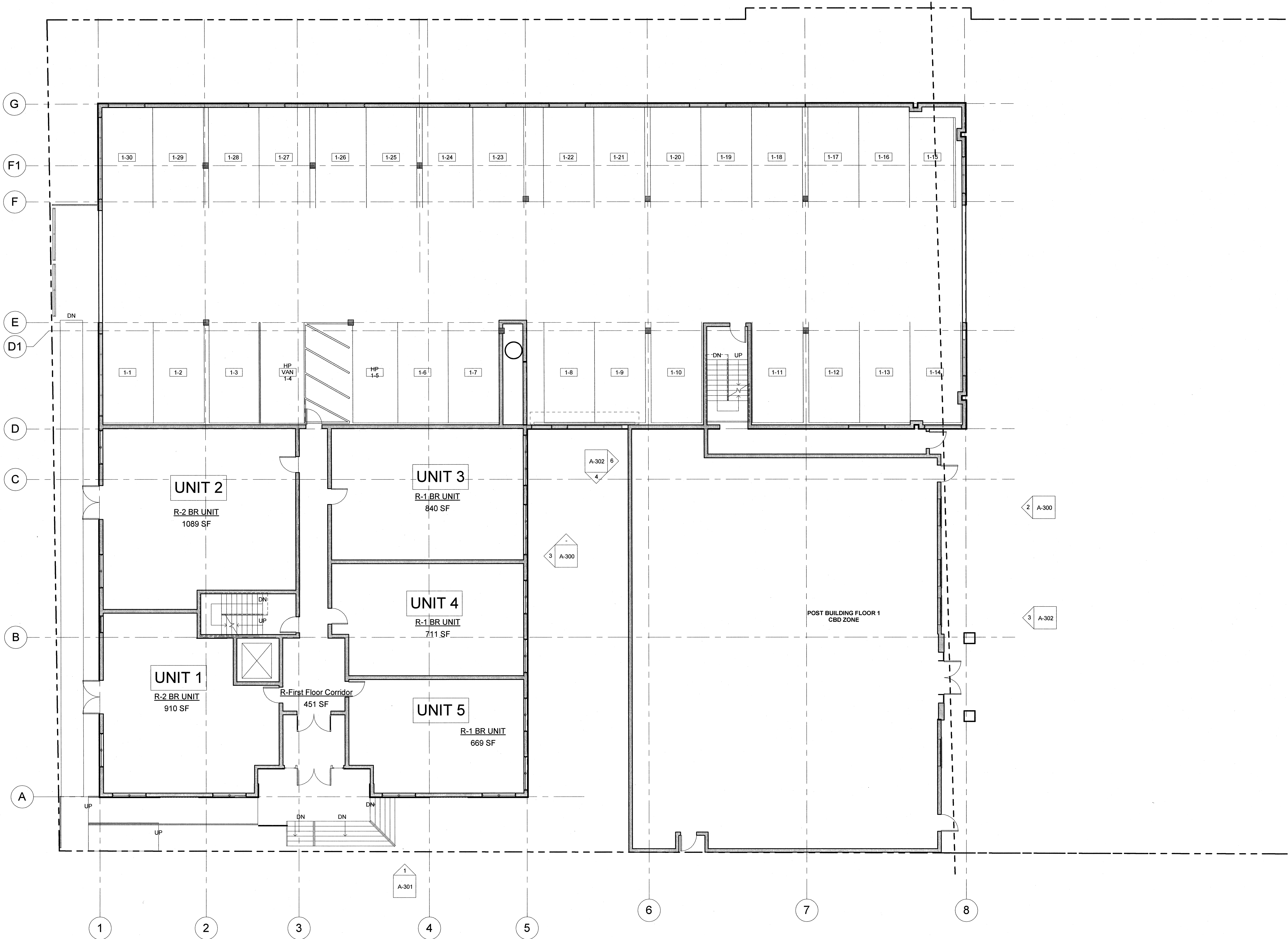
No.	Description	Date

1st Floor Plan

A-101

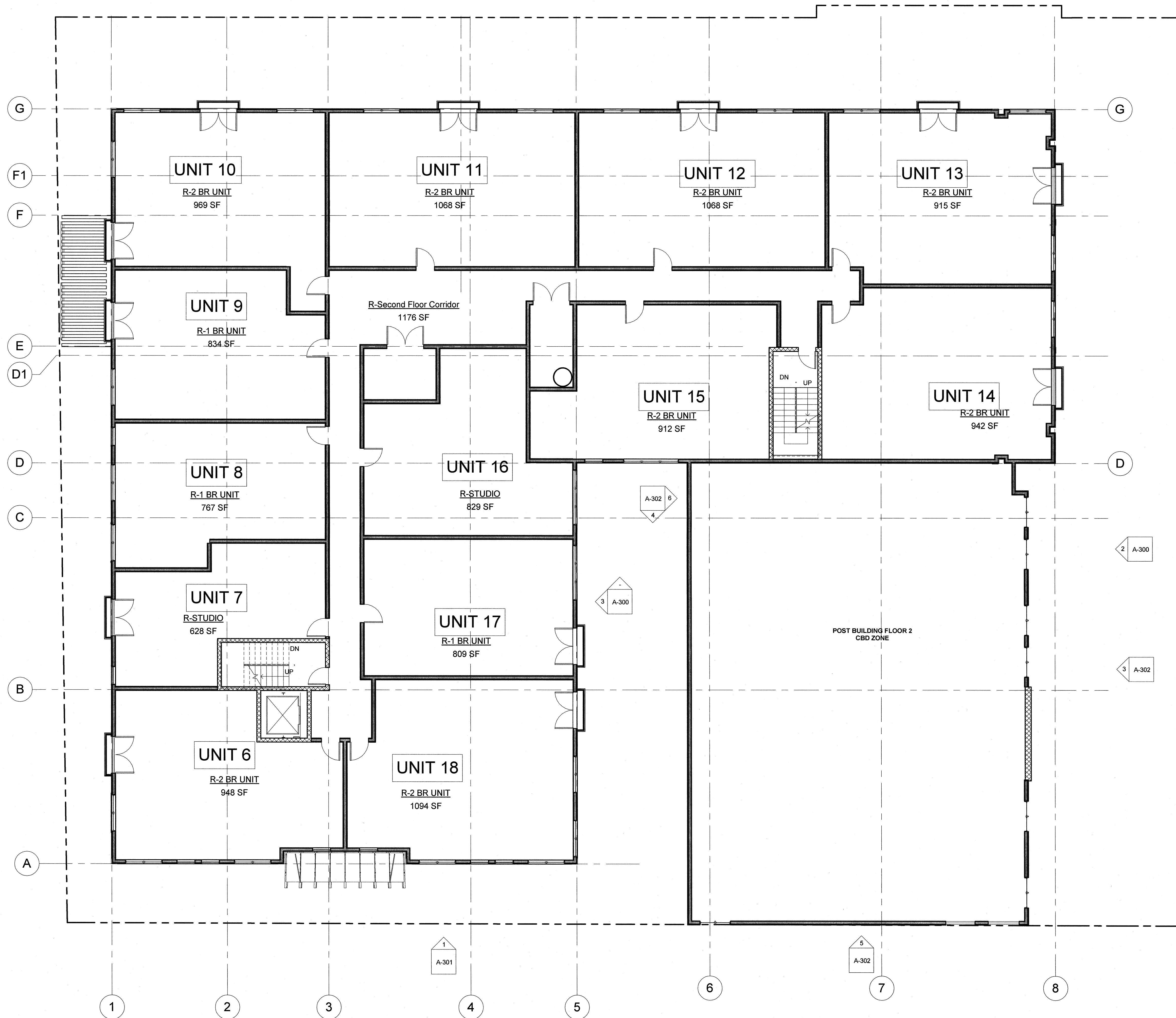
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1 1st Floor Level
1/8" = 1'-0"



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① 2nd Floor Level
1/8" = 1'-0"

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**Summer Street
Residences**

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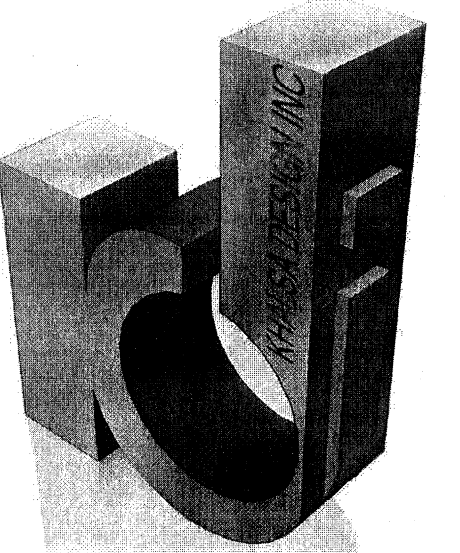
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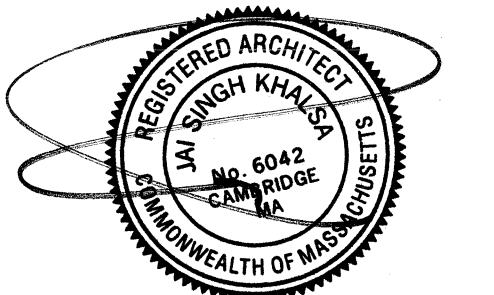


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Project number 11006
Date 09-23-11
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No.	Description	Date
1	Studio units count	07-19-11

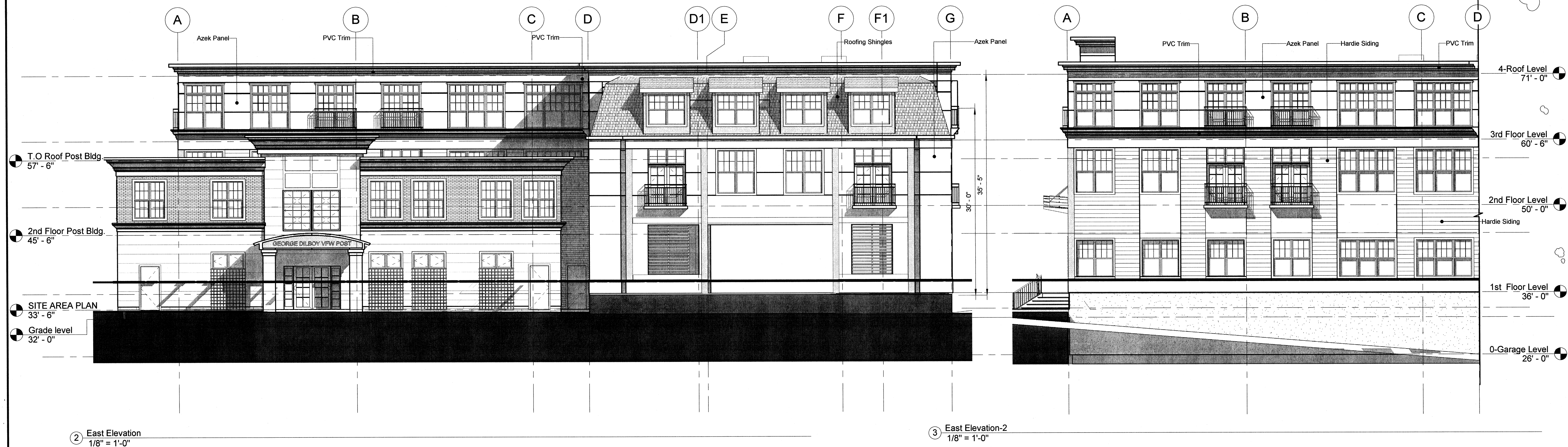
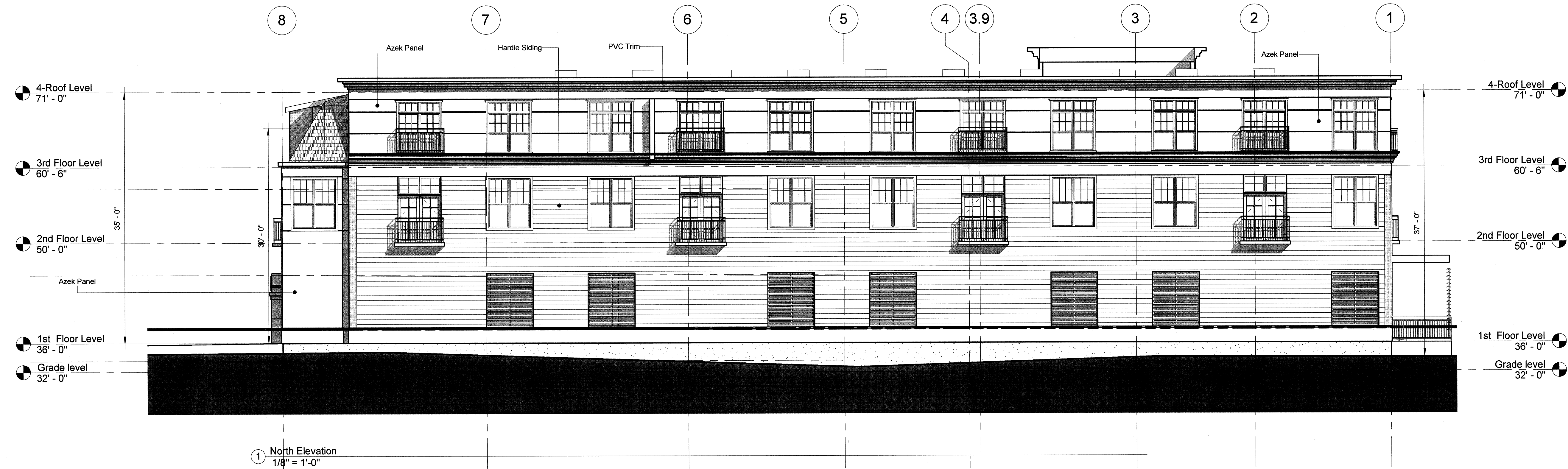
2nd Floor Plan

A-102

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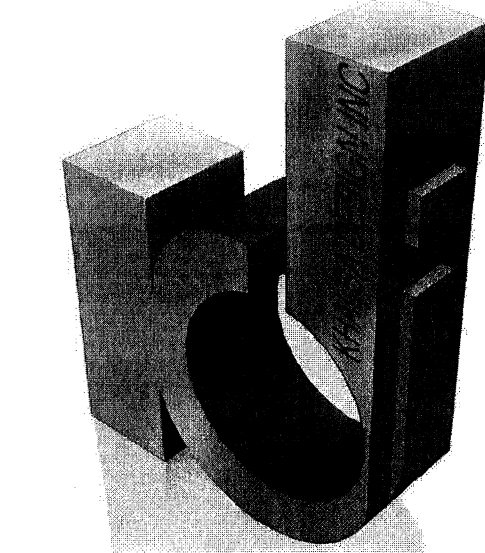


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PROJECT ADDRESS
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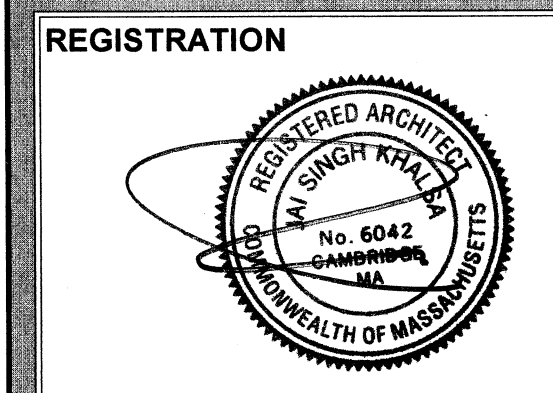
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REVISIONS		
No.	Description	Date
1	Studio units count	07-19-11

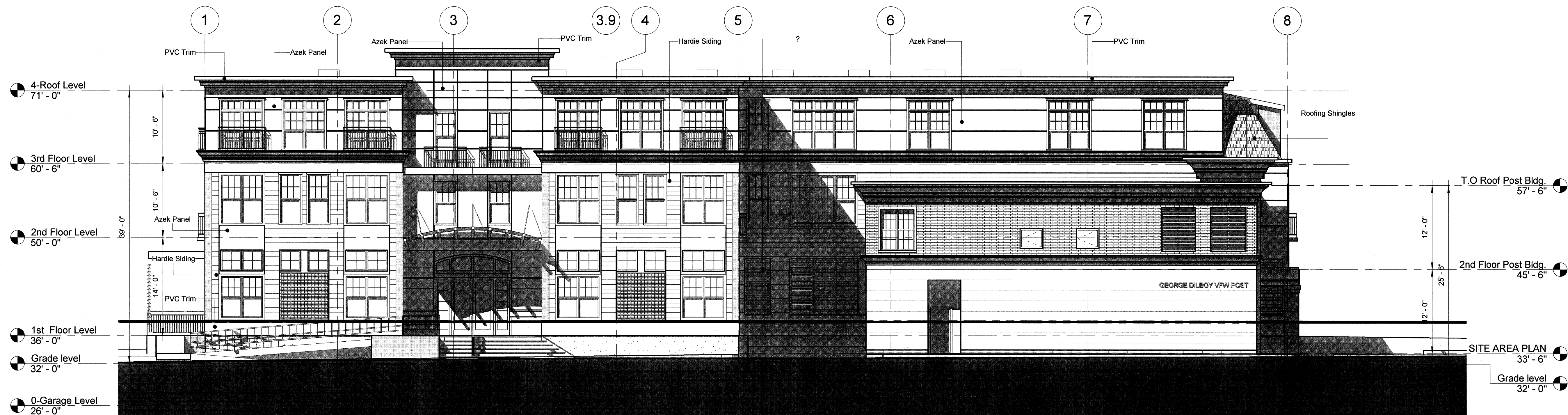
North & East Elevations

A-300
Summer Street Residences

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① South Elevation
1/8" = 1'-0"



② West Elevation
1/8" = 1'-0"

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PROJECT ADDRESS

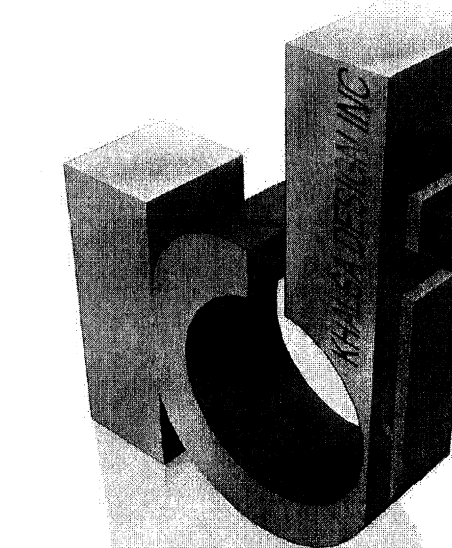
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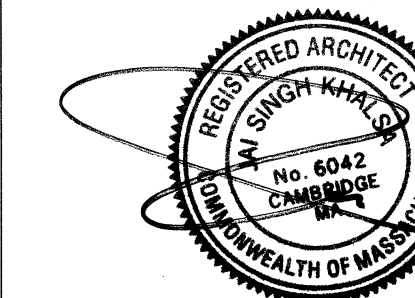


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No.	Description	Date
1	Studio units count	07-19-11

South & West Elevations

A-301

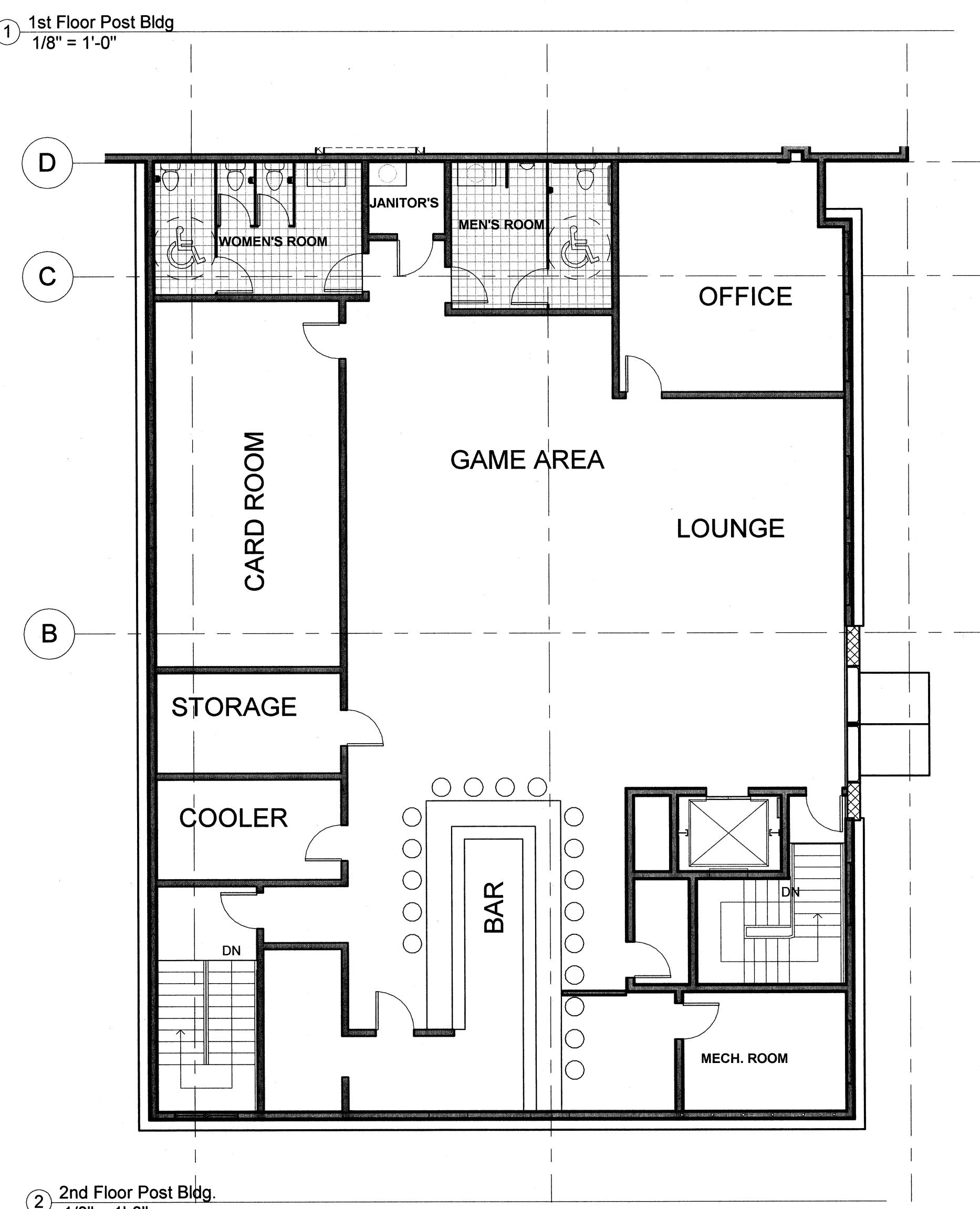
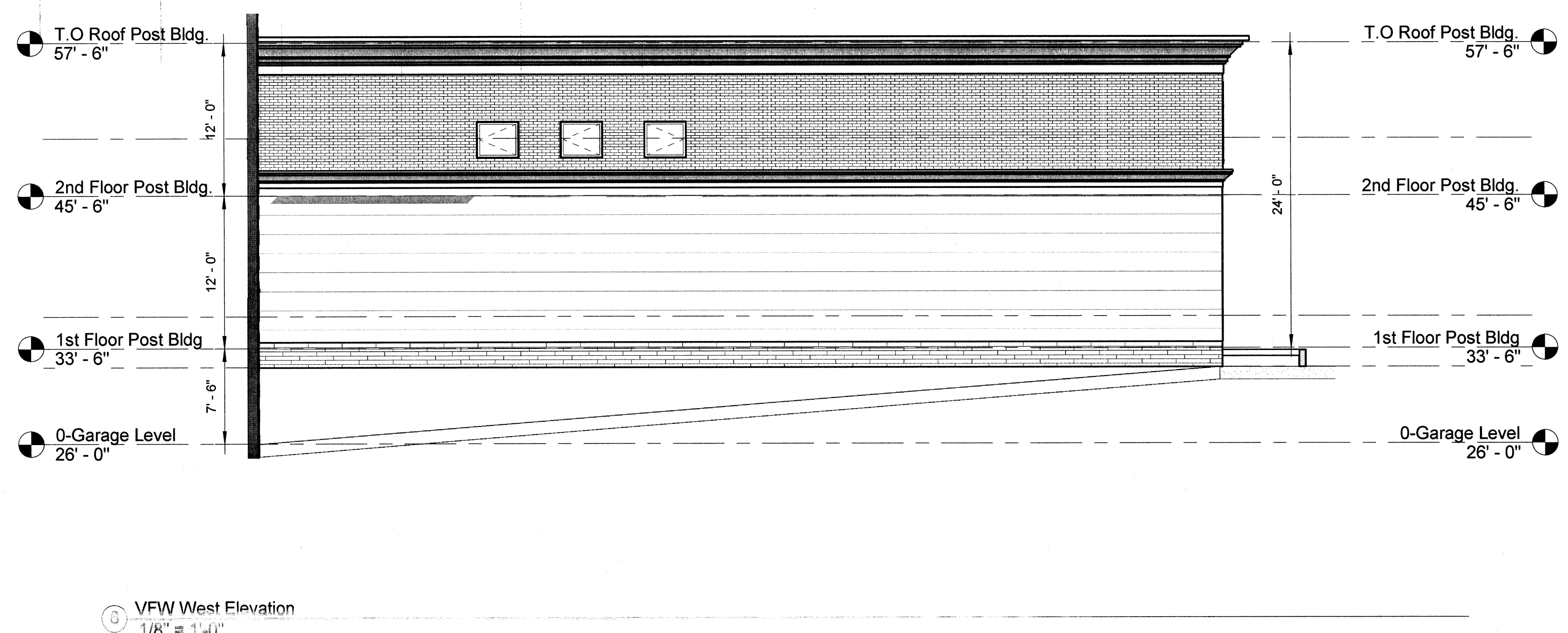
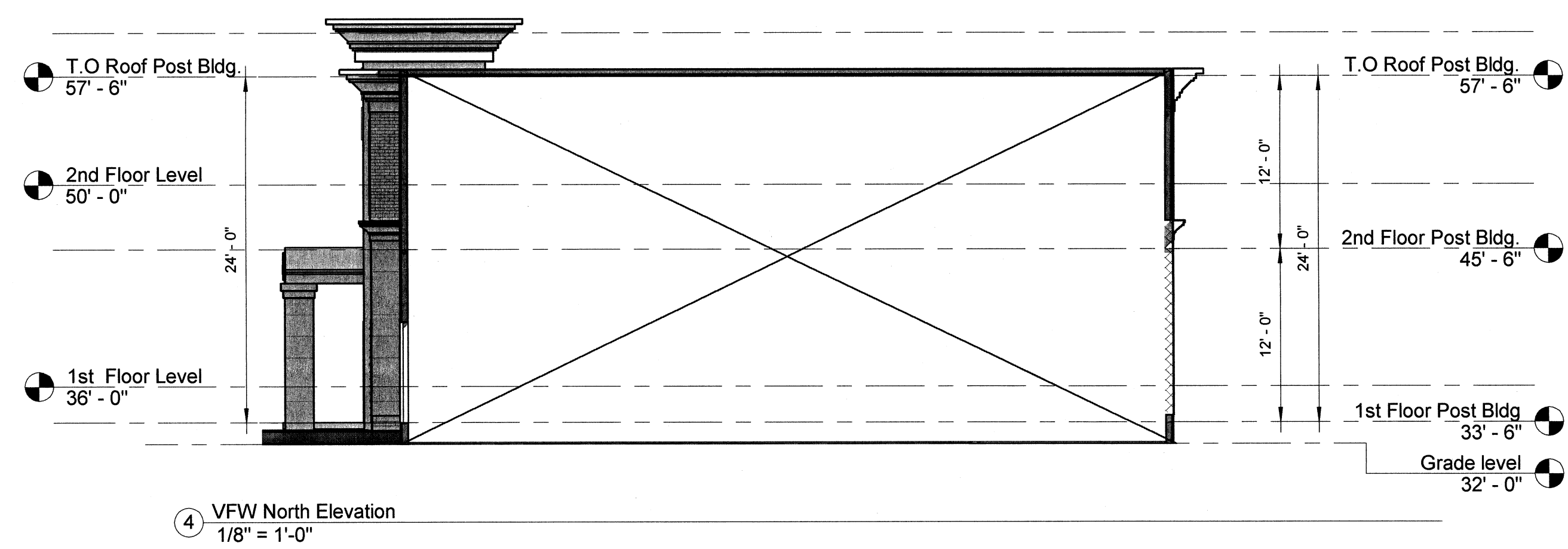
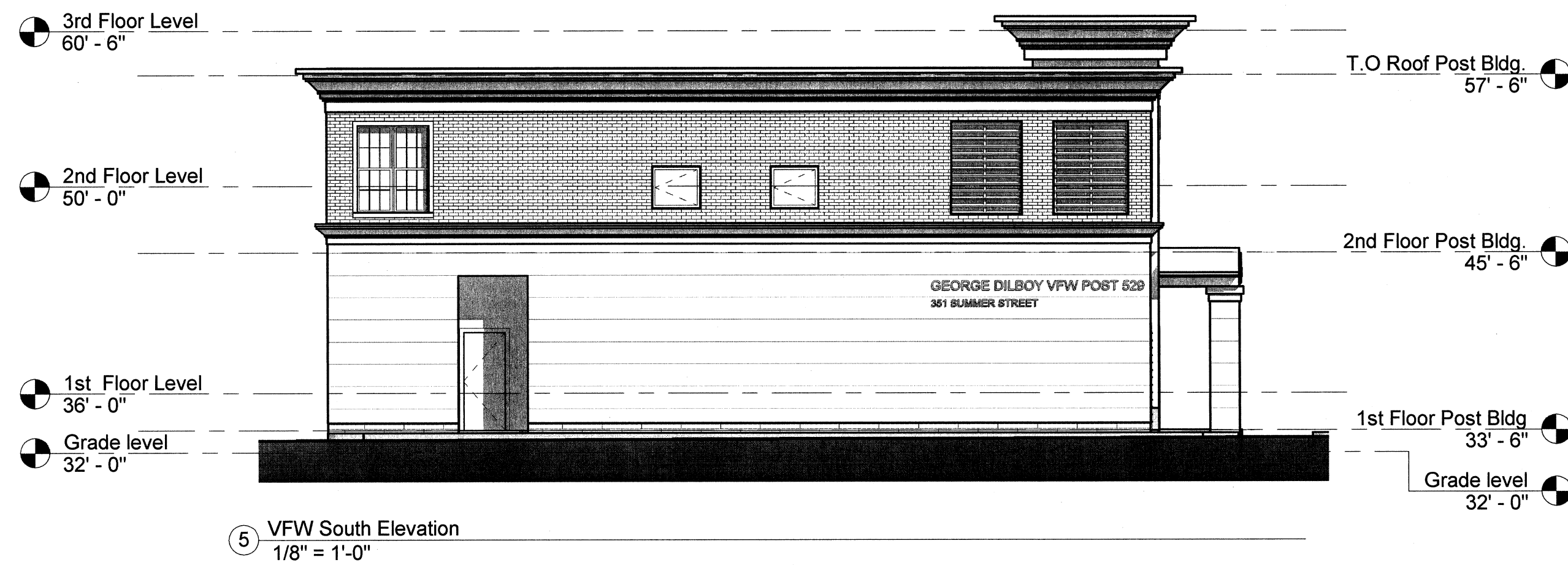
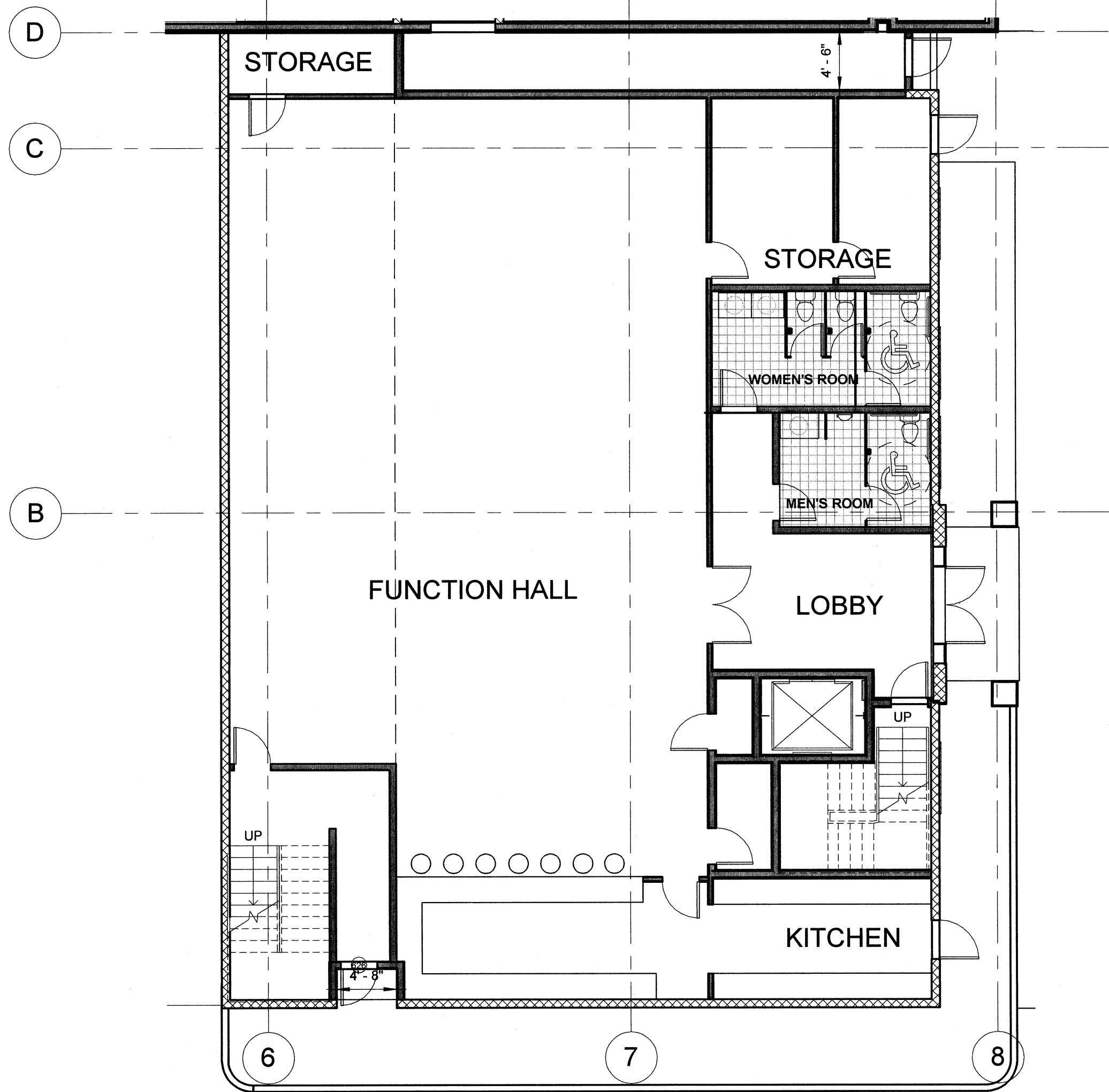
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No.	Description	Date

Dilboy Post

A-302

Summer Street Residences