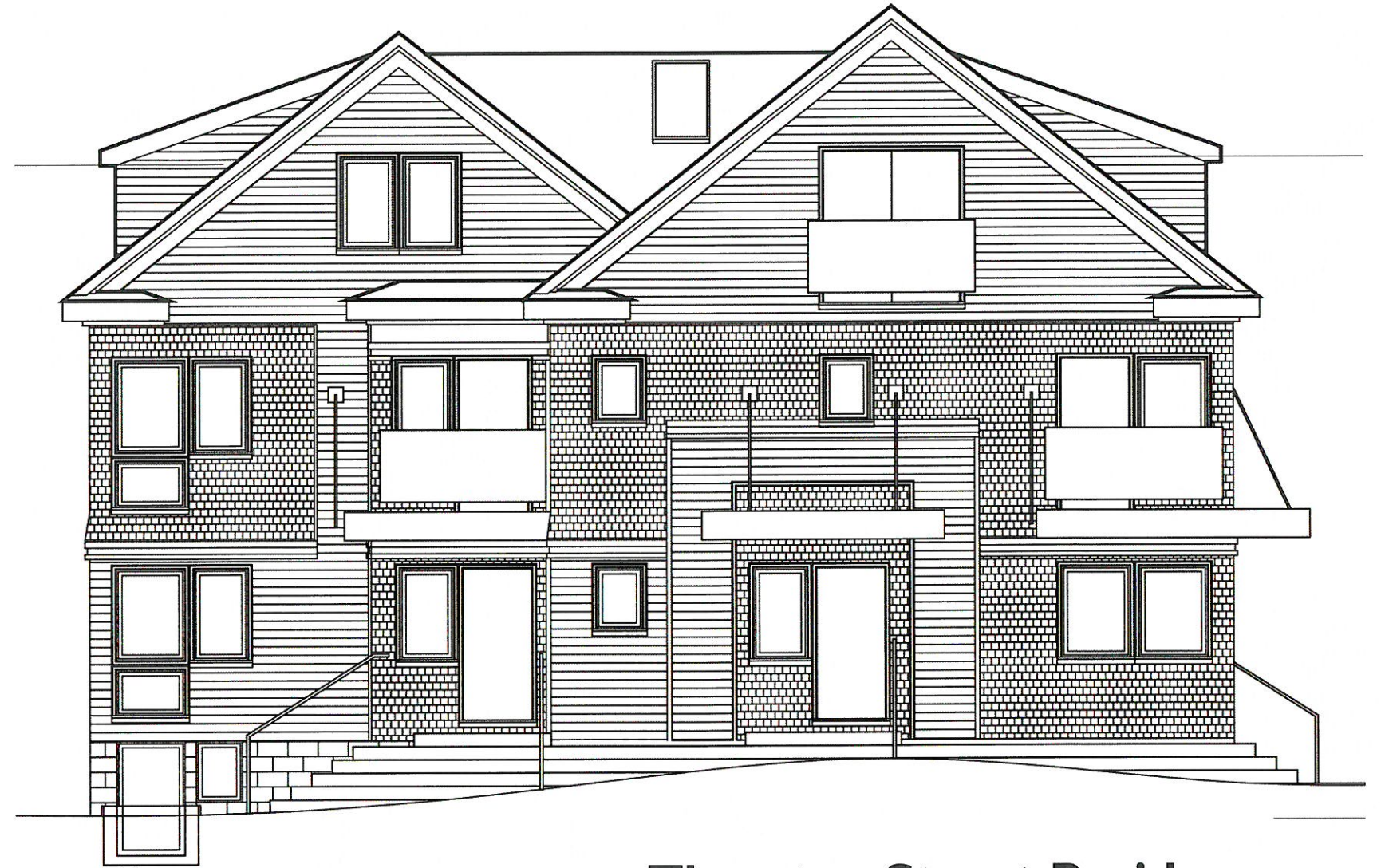


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CITY CLERK'S OFFICE
SOMERVILLE, MA



Thurston Street Residences at Winter Hill

84 Thurston Street, Somerville, MA
Special Permit Documents

Architectural

Tuesday, 13 December, 2016

Nilsson + Associates Architects

411A Highland Avenue Suite 326A, Somerville, MA 02144-1538

P: +1 617-623-1266 F: +1 617-623-6066

Email: info@nilssonassociates.us Web: <http://www.nilssonassociates.us>

n+a
Architects

SYMBOLS LEGEND

	BUILDING SECTION
	CEILING HEIGHT
	CENTER LINE
	STRUCTURAL GRID IDENTIFIER
	ELEVATION
	ENLARGED PLAN OR DETAIL
	REVISION
	EXTERIOR ELEVATION
	INTERIOR ELEVATION
	ALUMINUM FRAME TYPE
	ALUMINUM DOOR TYPE
	PARTITION TYPE
	REVISION CLOUD
	STAIR ARROW ALWAYS POINTS UP
	WALL SECTION (ON ELEVATIONS) WALL SECTION (ON PLANS)
	DOOR MARK
	DOOR FRAME TYPE
	WINDOW TYPE
	BORROWED LIGHT TYPE

MATERIAL LEGEND

	EARTH
	GRAVEL
	CONCRETE
	Concrete Masonry Unit (CMU)
	BRICK
	STEEL
	WOOD BLOCKING
	PLYWOOD
	WOOD (FINISH)
	RIGID INSULATION
	BATT INSULATION
	TEXTURED PAINT
	EFIS
	EXISTING DOOR TO BE DEMOLISHED
	EXISTING DOOR TO REMAIN
	NEW DOOR
	EXISTING WALL TO BE DEMOLISHED
	EXISTING WALL TO REMAIN
	NEW WALL

DRAWING INDEX

ARCHITECTURAL:	
AG000	Thurston Residences Cover Sheet
AG001	Title Sheet
AG002	Project Information
AG010	Floor Plan Area Diagrams
AG101	Code Review
AG102	Code Review
AG103	Photographs of Context
CS---	Instrument Survey
AS001	Site Plan
AE100	Basement Plan
AE101	First Floor Plan
AE102	Second Floor Plan
AE103	Third Floor Plan
AE104	Roof Plan
AE201	Building Elevation
AE202	Building Elevation
AE203	Building Elevation
AE204	Building Elevation

OWNER

WINTER HILL ENTERPRISES, LLC
229 LAKEVIEW AVENUE
CAMBRIDGE, MA 02138

ARCHITECT

NILSSON + ASSOCIATES ARCHITECTS
411A HIGHLAND AVENUE, SUITE 326A
SOMERVILLE, MA 02144-1538
P (617) 623-1266

SURVEYOR

Control Point Associates, Inc.
352 Turnpike Road
Southborough, MA 01772
P: +1 (508) 948-3000

CONSTRUCTION
DRAWINGS

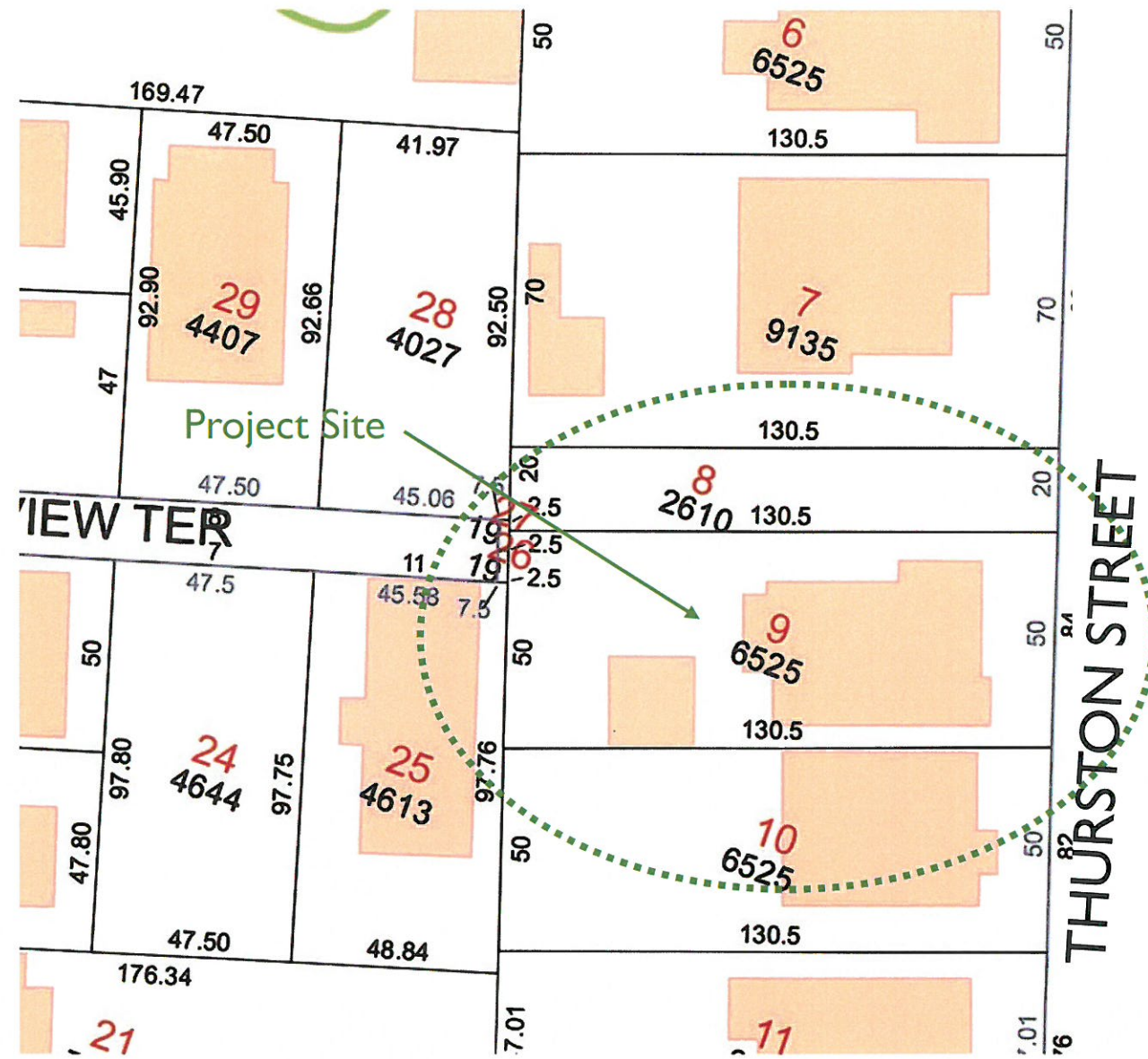
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CHECKED BY:	RTN	
SCALE		

TITLE SHEET

AG001

Thurston Residences
RENOVATIONS & ADDITIONS
84 THURSTON STREET SOMERVILLE, MA 02144

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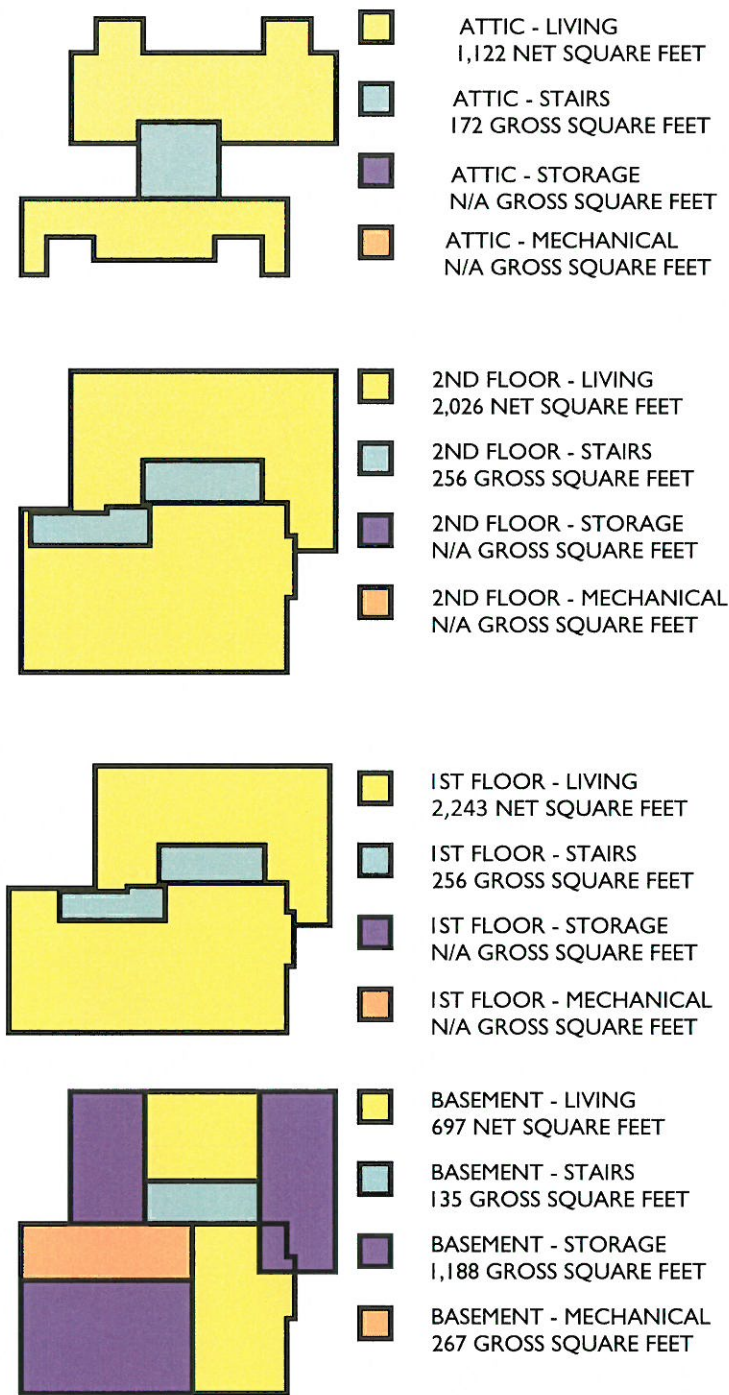
Locus-Partial Somerville Assessor's Map 48

PROJECT
INFORMATION
AG002

SPECIAL PERMIT
DOCUMENTS
13 December 2016

Thurston Residences
84 THRUSTON STREET, SOMERVILLE, MA

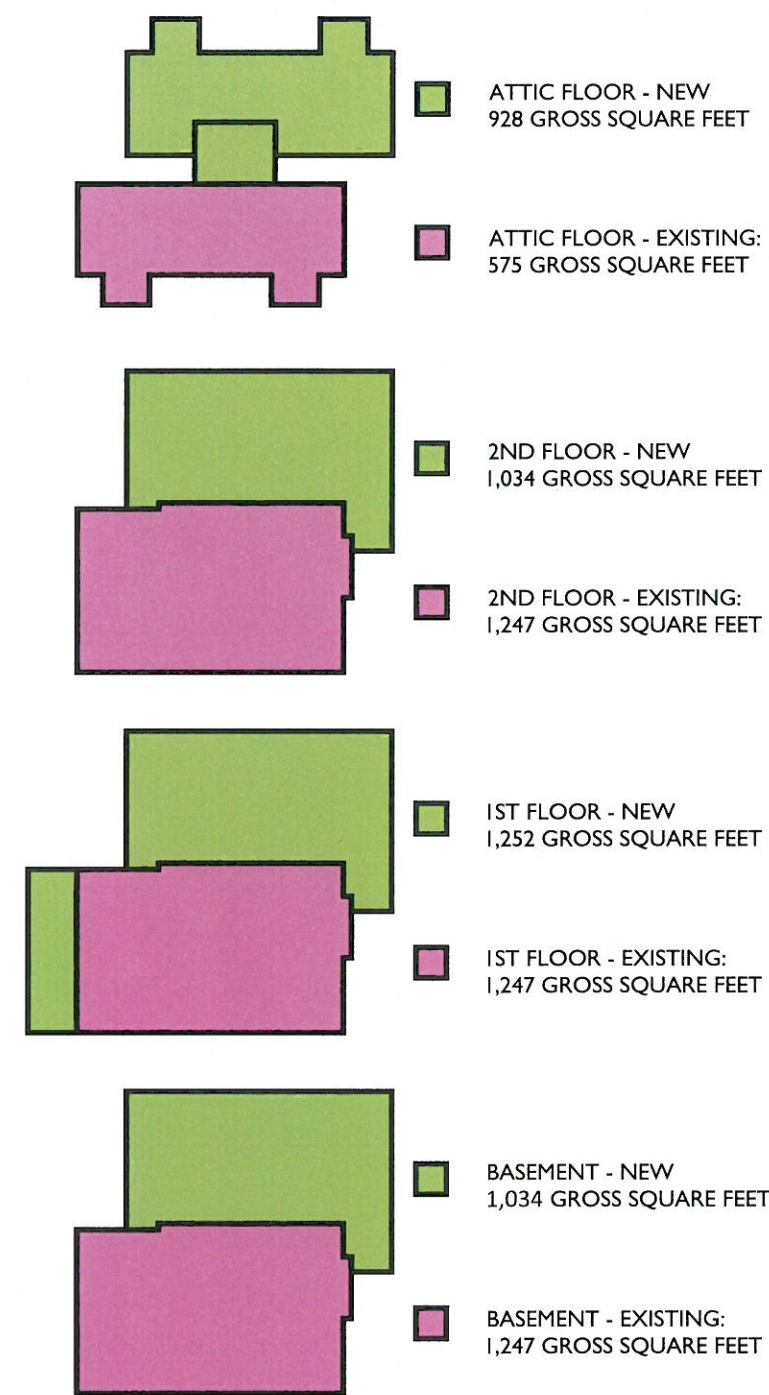
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D NET AREAS PLAN DIAGRAMS
SCALE: NTS

	STOR	MECH	STAIR	TOTALS (NON-LIVING)	TOTAL LIVING (NET AREA)
ATTIC FLOOR	0.00	0.00	172.00	172.00	1,122.00
2ND FLOOR	0.00	0.00	256.00	256.00	2,026.00
1ST FLOOR	0.00	0.00	256.00	256.00	2,243.00
BASEMENT	1,188.00	270.00	135.00	1,593.00	697.00
TOTALS	1,188.00	270.00	819.00	2,277.00	6,088.00
SITE AREA:	9,135.00	FAR:	0.67		

C NET AREAS TABLE
SCALE: NTS



B GROSS AREAS PLAN DIAGRAMS
SCALE: NTS

	EXISTING	NEW	TOTALS (GROSS AREA)	TOTAL (NET 80% GROSS)
ATTIC FLOOR	575.00	928.00	1,503.00	1,202.40
2ND FLOOR	1,247.00	1,034.00	2,281.00	1,824.80
1ST FLOOR	1,247.00	1,252.00	2,499.00	1,999.20
BASEMENT	1,247.00	1,034.00	2,281.00	1,824.80
TOTALS (GROSS AREA)	4,316.00	4,248.00	8,564.00	6,851.20
SITE AREA:	9,135.00	FAR:	80% G:N	0.75

A GROSS AREAS TABLE
SCALE: NTS

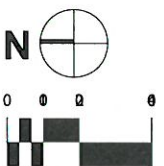
Thurston Residences

RENOVATIONS & ADDITIONS

84 THURSTON STREET SOMERVILLE, MA 02144

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CONSTRUCTION DRAWINGS



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SCALE DATE DESCRIPTION

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CHECKED BY:
SCALE 1/16" = 1'-0"

Floor Area Plan Diagrams

AG010

Zoning Review

Referenced standards:

ZONING ORDINANCE, City of SOMERVILLE, MASSACHUSETTS. Ordinance No. 2012-06, adopted August 16, 2012 (Supp. No. 3, Update 3)

Narrative Project Description

The Project

The Project includes improvements to the existing 2 family residence at 84 Thurston Street including a renovation of the existing and an addition. There will be no change in use; the building will remain a 2 family residence, with an increase in the far and the number of bedrooms from four to six total bedrooms.

The building mechanical and electrical systems will be upgraded, as well as the kitchens, bathrooms and interior finishes.

Zoning District

84 Thurston Street is within zone RA of the Somerville Zoning Map

6.1.1. RA - Residence Districts.

Purpose. To establish and preserve quiet neighborhoods of one- and two-family homes, free from other uses except those which are both compatible with and convenient to the residents of such districts.

Section 7.1.1. - Table of Permitted Uses.

PRINCIPAL USE (unless specified otherwise)

1 and 2 family dwelling units are permitted by right district RA

ARTICLE 8. - DIMENSIONAL REQUIREMENTS

Section 8.1. - Content of Table of Dimensional Requirements.

	Content of Table of Dimensional Requirements.	DISTRICT RA	84 Thurston (Existing)	84 Thurston (New)
A.	Minimum lot size (s.f.)	10,000	9,135	9,135
B.	Minimum lot area/dwelling unit: 1-9 units (s.f.)	2,250	4,568	4,568 Conforming
C.	Maximum ground coverage (%)	50% 4,568 sq ft	17% 1,541	42% 3,800 Conforming
D.	Landscaped area, minimum percent of lot	25% 2,285	63% 5,760	38% 3,500 Conforming
E.	Floor area ratio (F.A.R.)	0.75 6,850	0.30 2,740	0.67 6,090 Conforming
F.	Maximum height: stories/feet	2½ Stories / 35 feet	2½ Stories / 31 feet	2½ Stories / 31 feet Conforming
G.	Minimum front yard (ft)	15ft	23ft	15ft Conforming
H.	Minimum side yards (ft)	8ft+9ft =17ft	9ft+32ft+/-	9ft+10ft =19ft+/- Conforming
I.	Minimum rear yards (ft)	20ft	55ft	54ft Conforming
J.	Minimum frontage (ft)	50ft	69ft	69ft Conforming
K.	Pervious Area, minimum percentage of lot	35% 3,200	63% 5,760	38% 3,500 Conforming

Thurston Residences
84 THRUSTON STREET, SOMERVILLE, MA

SPECIAL PERMIT
DOCUMENTS
13 December 2016

CODE
REVIEW
AG101

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ARTICLE 9.5. - OFF-STREET PARKING AND LOADING

9.5. I Residential Uses:

Parking Factor: 2.0 per unit with 3 or more bedrooms;

The project provides four (4) parking spaces as required.

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DOCUMENTS

13 December 2016

CODE
REVIEW
AG102

Thurston Residences
84 THRUSTON STREET, SOMERVILLE, MA

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Thurston Residences

84 THRUSTON STREET, SOMERVILLE, MA

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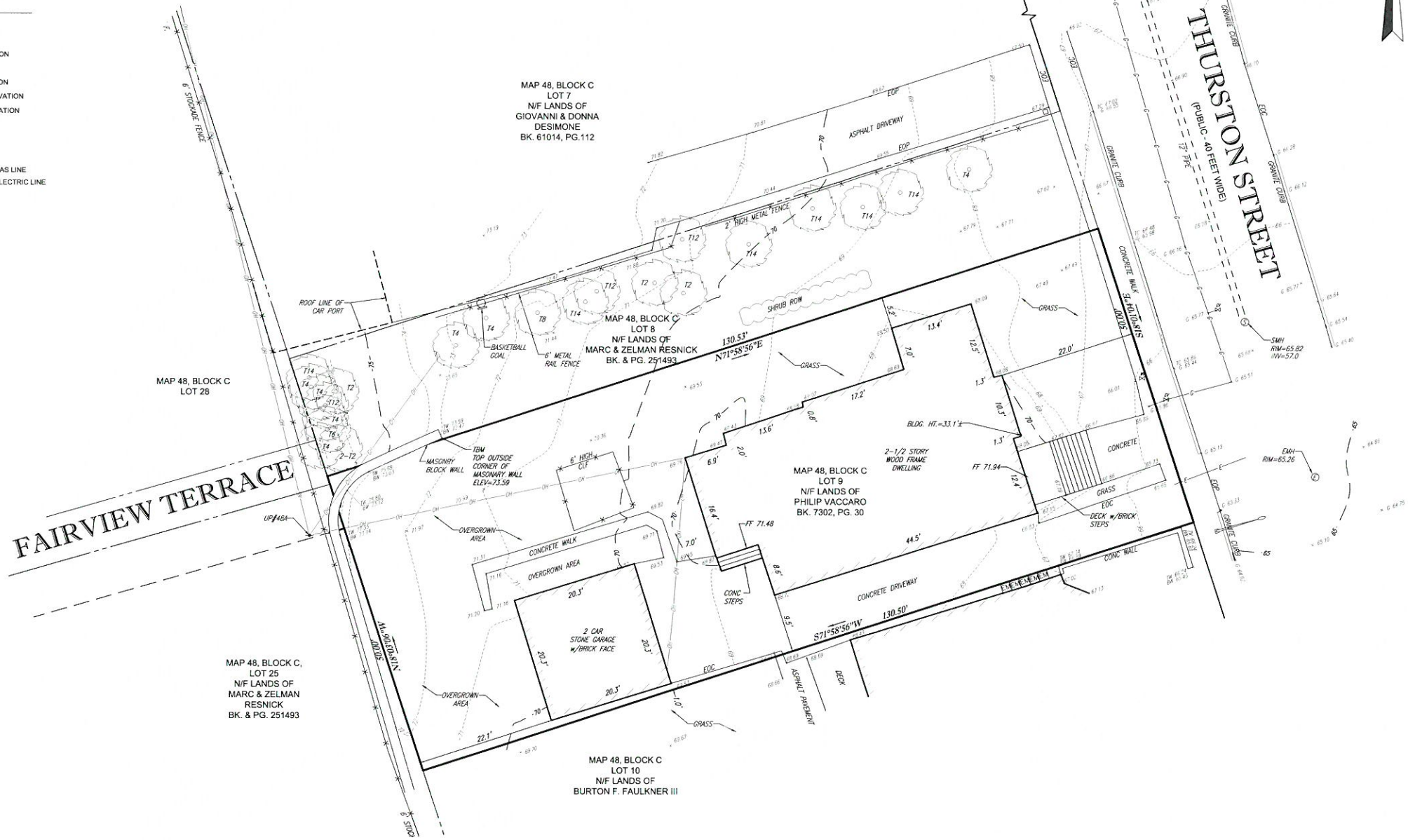
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SPECIAL PERMIT
DOCUMENTS

13 December 2016

Photographs of
Context
AG103

- LEGEND
- 124 EXISTING CONTOUR
 - 125 EXISTING SPOT ELEVATION
 - X 121.45 EXISTING TOP OF CURB ELEVATION
 - X 122.95 EXISTING GUTTER ELEVATION
 - X 123.45 EXISTING TOP OF WALL ELEVATION
 - X 122.95 EXISTING BOTTOM OF WALL ELEVATION
 - X 123.45 EXISTING FINISHED FLOOR ELEVATION
 - WV WATER VALVE
 - GV GAS VALVE
 - OW OVERHEAD WIRES
 - LOC APPROX. LOC. UNDERGROUND GAS LINE
 - LEC APPROX. LOC. UNDERGROUND ELECTRIC LINE
 - ELC ELECTRIC ME
 - CLF CHAIN LINK FENCE
 - EOC EDGE OF CONCRETE
 - EOP EDGE OF PAVEMENT
 - LSA LANDSCAPED AREA
 - (MP) TYPICAL
 - EMH ELECTRIC MANHOLE
 - SMH SANITARY/SEWER MANHOLE
 - TZ TREE & TRUNK SIZE
 - HT HEIGHT
 - BLDG BUILDING
 - CONC CONCRETE
 - RRT RAILROAD TIE
 - INV INVERT ELEVATION
 - GRT GRATE ELEVATION



- NOTES:
- PROPERTY KNOWN AS LOTS 9, BLOCK C, MAP 48, AS SHOWN ON THE TAX ASSESSOR'S MAP OF THE CITY OF SOMERVILLE, MIDDLESEX COUNTY, COMMONWEALTH OF MASSACHUSETTS.
 - AREA: 6,525.75 SQUARE FEET OR 0.15 ACRES.
 - LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARK-OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
 - THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
 - BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2.
 - THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
 - ELEVATIONS ARE BASED UPON NAVD 88, OBTAINED WITH GPS EQUIPMENT UTILIZING THE KEYSTONE KEYNET NETWORK.
 - THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
 - BUILDING DIMENSIONS SHOWN HEREON ARE MEASURED AT GROUND LEVEL OF BUILDING EXTERIOR.
 - THE LAND AS DESCRIBED IN THIS SURVEY CONSTITUTES MORE THAN ONE PARCEL OR LOT, AND THERE ARE NO GAPS, GORES OR STRIPS.
 - ENCROACHMENTS AND VAULTS, IF ANY, BELOW SURFACE NOT SHOWN HEREON.
 - THIS SURVEY DOES NOT SHOW THE EXISTENCE OF WETLANDS, IF ANY.
 - THERE IS NO UNDERGROUND ELECTRIC SERVING THE AREA PER NSTAR ELECTRIC.
 - A PORTION OF FAIRVIEW TERRACE AT THE SOUTHERLY END OF LOT 28 WAS NOT DESCRIBED IN DEED BOOK 59360, PAGE 469 AND OWNERSHIP IN THIS STRIP OF LAND IS UNCLEAR. TAX MAP 48 SHOWS THIS LAND AS A PORTION OF LOT 28.

- REFERENCES:
- THE TAX ASSESSOR'S MAP OF CITY OF SOMERVILLE, MIDDLESEX COUNTY, MASSACHUSETTS, SHEET #48.
 - MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, MIDDLESEX COUNTY, MASSACHUSETTS, (ALL JURISDICTIONS)," PANEL K38 OF 656, MAP NUMBER 25017C0438E, EFFECTIVE DATE: JUNE 4, 2010.
 - MAP ENTITLED "PLAN OF ESTATES IN SOMERVILLE, BELONGING TO, MARGARET F. BUTLER, AND TO HEIRS OF ADELINE S. HARDING," PREPARED BY CHARLES D. ELLIOT, DATED: JULY 28, 1898 AND RECORDED IN MIDDLESEX COUNTY REGISTRY OF DEEDS ON AUGUST 3, 1998, IN PLAN BOOK 112, AS PLAN 7.
 - MAP ENTITLED "PLAN OF LAND IN SOMERVILLE," PREPARED BY CHARLES J. ELLIOT, DATED: JULY 11, 1918 AND RECORDED IN MIDDLESEX COUNTY REGISTRY OF DEEDS AS LAND COURT PLAN #6919A.
 - MAP ENTITLED "PLAN OF LOTS IN SOMERVILLE, OWNED BY HANNAH W. BROOKS AND OTHERS," DATED: OCTOBER 1887, BY CHARLES D. ELLIOT AND RECORDED IN THE MIDDLESEX COUNTY REGISTRY OF DEEDS ON NOVEMBER 8, 1887 IN PLAN BOOK 53 AS PLAN 45.
 - MAP AND SERVICE CARDS SHOWING UNDERGROUND GAS FACILITIES PROVIDED BY NATIONAL GRID.
 - WATER MAP PROVIDED BY THE CITY OF SOMERVILLE.
 - SANITARY SEWER MAP AND NOTES, NB143, PG. 153, PROVIDED BY THE CITY OF SOMERVILLE.

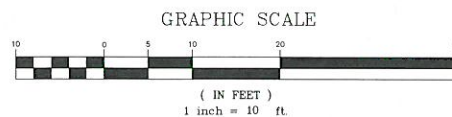
UTILITIES:

THE FOLLOWING COMPANIES WERE NOTIFIED BY THE COMMONWEALTH OF MASSACHUSETTS ONE-CALL SYSTEM (1-888-DIG-SAFE) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER(S) 20124011716

UTILITY COMPANY	PHONE NUMBER
AT&T TRANSMISSION	781-393-0440
NSTAR GAS	781-400-5729
COMCAST-PEMBROKE	617-409-0880
LEVEL 3 COMMUNICATIONS	207-772-2439
CROWN CASTLE NG NETWORKS	302-419-2080
VERIZON	617-780-6898
RCN	800-746-4726
NSTAR ELECTRIC	781-400-5729
NATIONAL GRID GAS-BOSTON	617-323-0524
ALCONQUIN GAS / SPECTRA ENERGY	781-329-3750
SOMERVILLE DPW	617-625-6600
ON TARGET LOCATING	508-429-1002
INNOVATIVE DATA MANAGEMENT	888-604-5577



THE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.



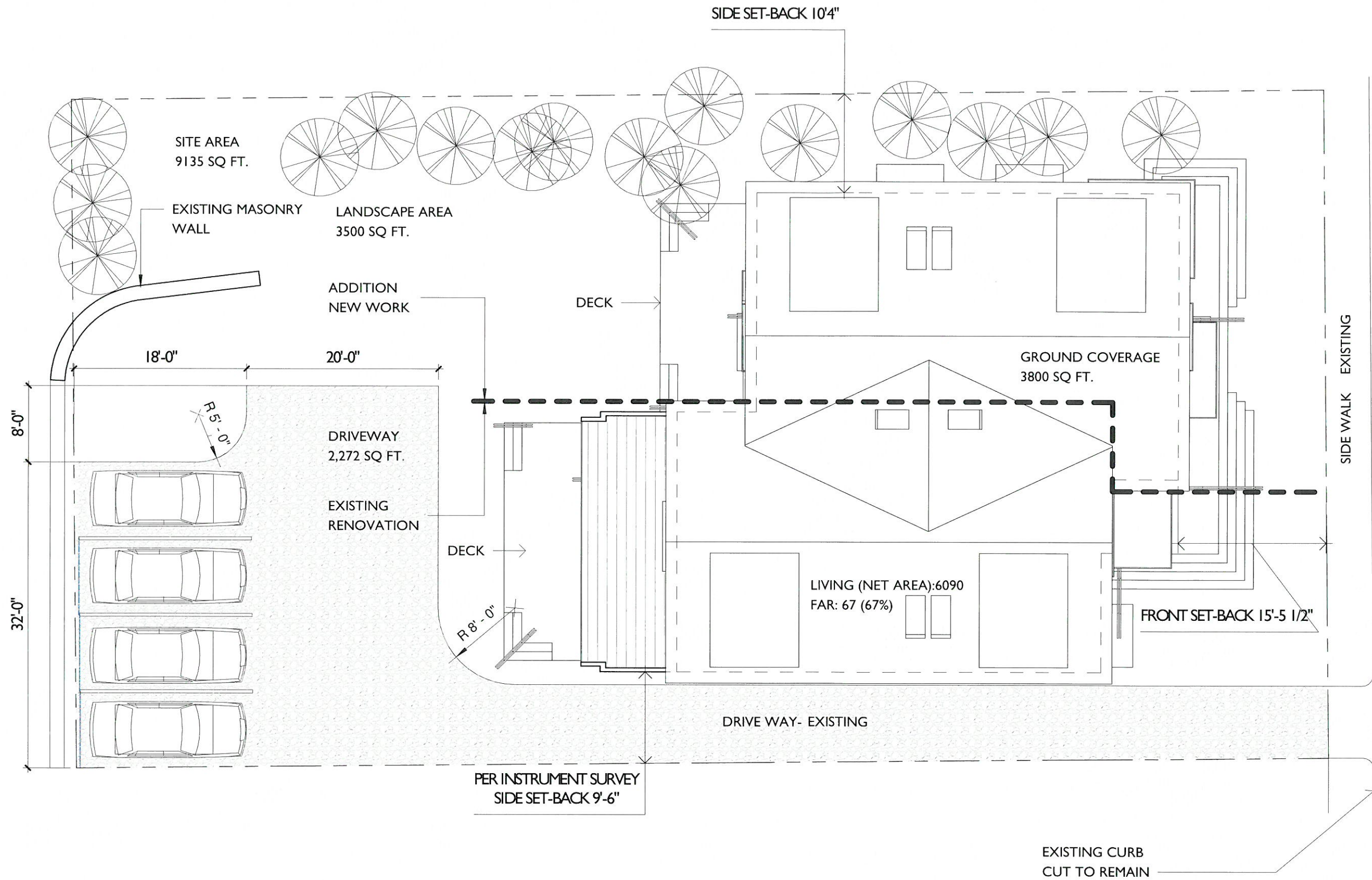
THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH A RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL

GERRY L. HOLDRIGHT
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

DATE

FIELD DATE 5-27-15	BOUNDARY & TOPOGRAPHIC SURVEY WINTER HILL VENTURES, LLC			
FIELD BOOK NO. 14-08MA	84 THURSTON STREET LOTS 9, BLOCK C, MAP 48			
FIELD BOOK PG. 135-136	CITY OF SOMERVILLE, MIDDLESEX COUNTY COMMONWEALTH OF MASSACHUSETTS			
FIELD CREW B.S.B.	CONTROL POINT ASSOCIATES, INC.			
DRAWN J.M.B.	352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 508.948.3000 - 508.948.3003 FAX			
REVIEWED G.L.H.	APPROVED G.L.H.	DATE 6-16-15	SCALE 1"=20'	FILE NO. CM12091.01
				DWG. NO. 1 OF 1



Thurston Residences

RENOVATIONS AND ADDITIONS

84 THURSTON STREET SOMERVILLE, MA 02144

NILSSON + ASSOCIATES ARCHITECTS
ARCHITECTURE, PLANNING & INTERIOR DESIGN
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CONSTRUCTION
DOCUMENTS



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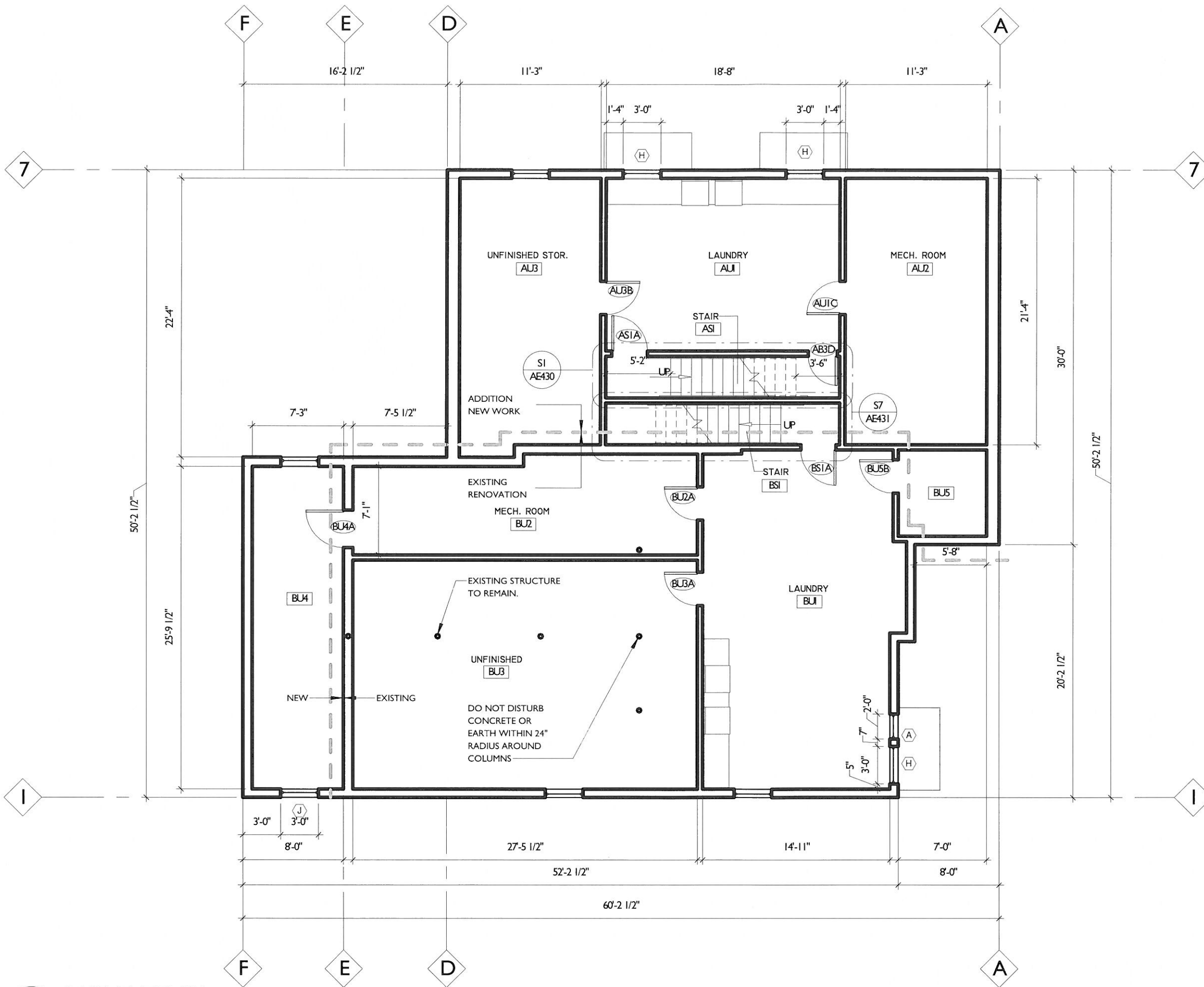
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Site Plan

AS001

SITE PLAN

SCALE: ORIGINAL IS 3/32" = 1'-0" @ ANSI B



Thurston Residences

RENOVATIONS AND ADDITIONS

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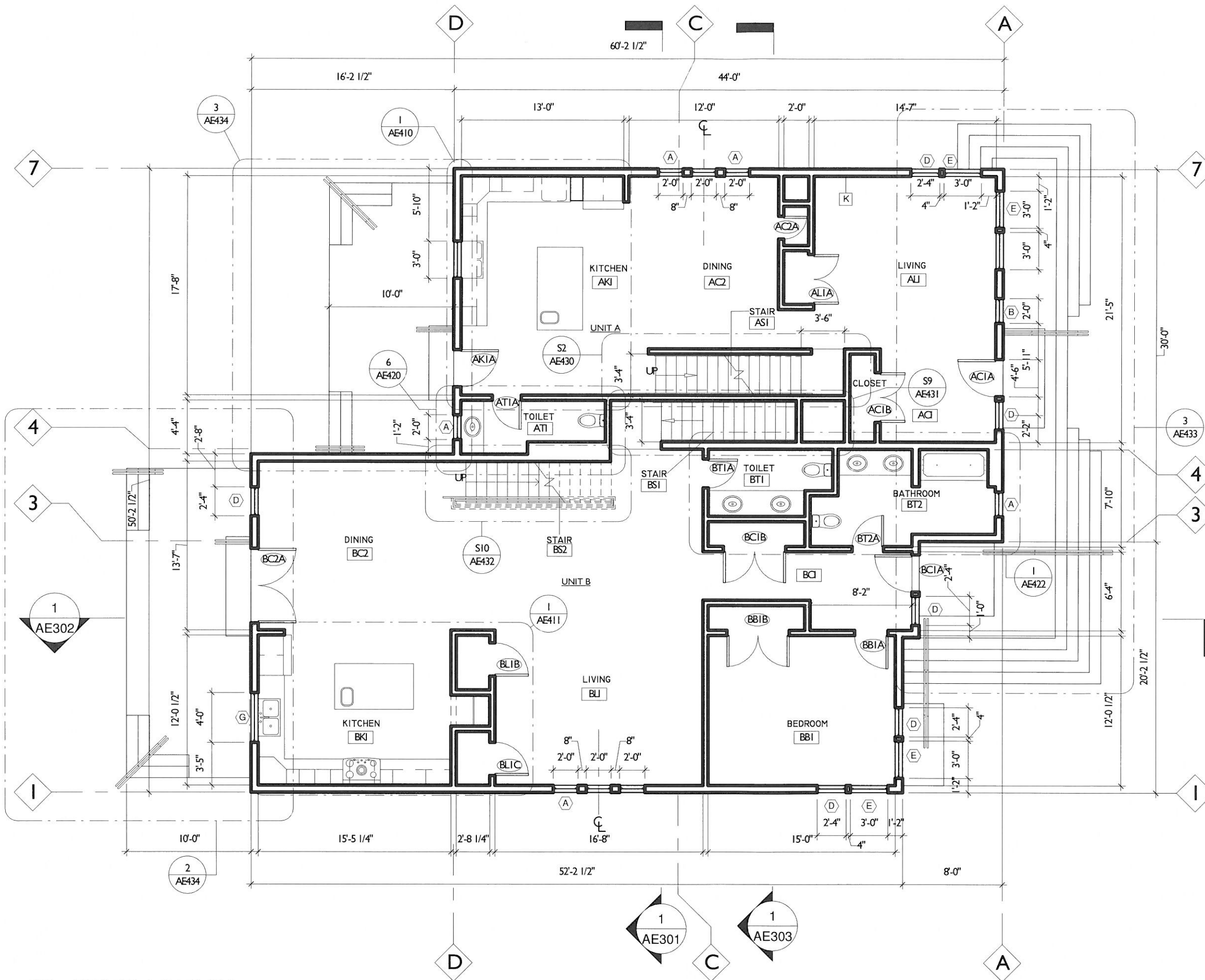
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Basement Plan

AE100

I BASEMENT PLAN
SCALE: ORIGINAL IS 1/8" = 1'-0" @ ANSI B



FIRST FLOOR PLAN
SCALE: ORIGINAL IS 1/8" = 1'-0" @ ANSI B

Thurston Residences
RENOVATIONS AND ADDITIONS
84 THURSTON STREET SOMERVILLE, MA 02144

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CONSTRUCTION DOCUMENTS

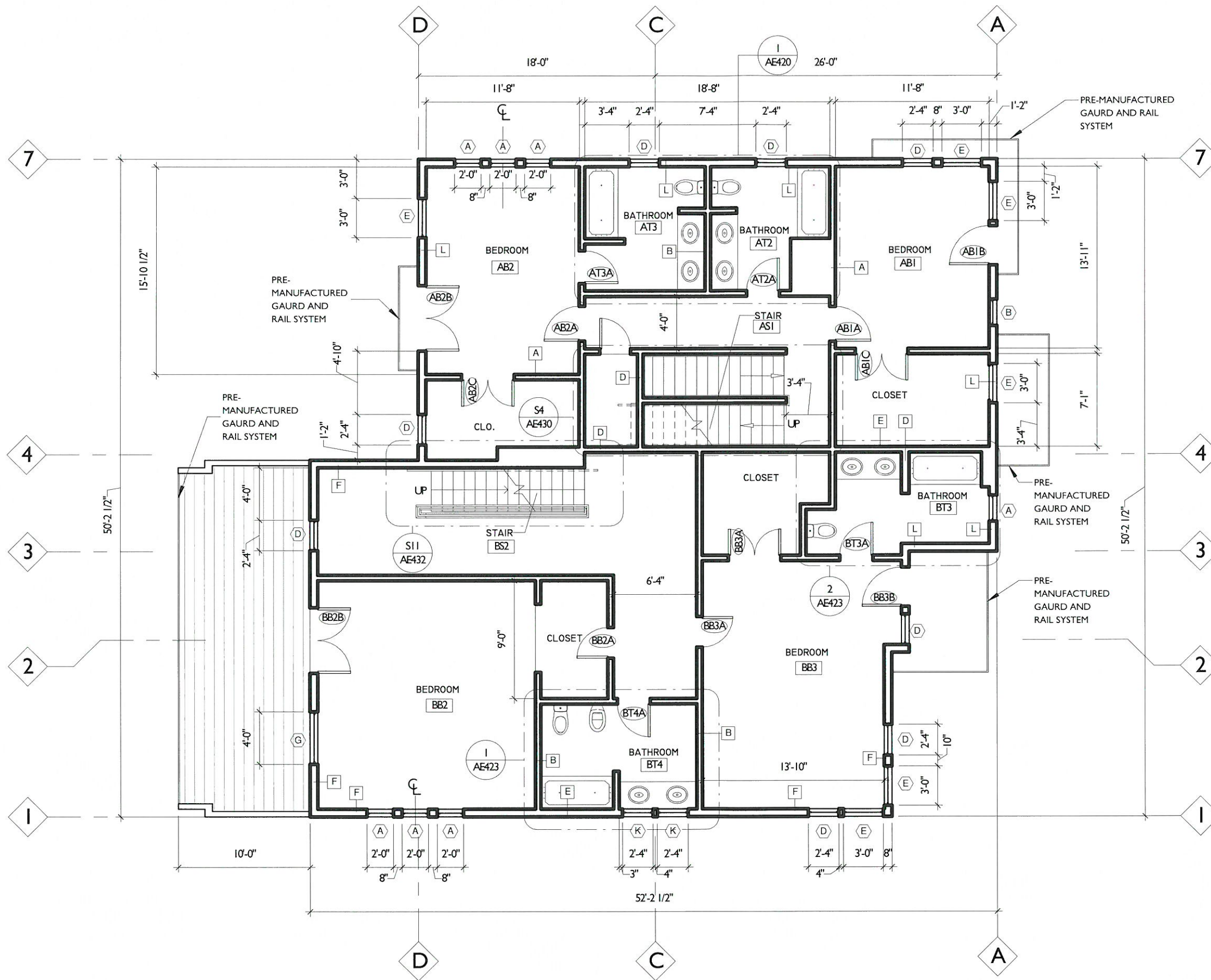


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First Floor Plan

AE101



SECOND FLOOR PLAN
 SCALE: ORIGINAL IS 1/8" = 1'-0" @ ANSI B

Thurston Residences

RENOVATIONS AND ADDITIONS

84 THURSTON STREET SOMERVILLE, MA 02144

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CONSTRUCTION DOCUMENTS



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 SCALE: DATE DESCRIPTION

CAD FILE:
 DRAWN BY: BG
 CHECKED BY: RTN
 SCALE:

Second Floor Plan

AE102

Thurston Residences

RENOVATIONS AND ADDITIONS

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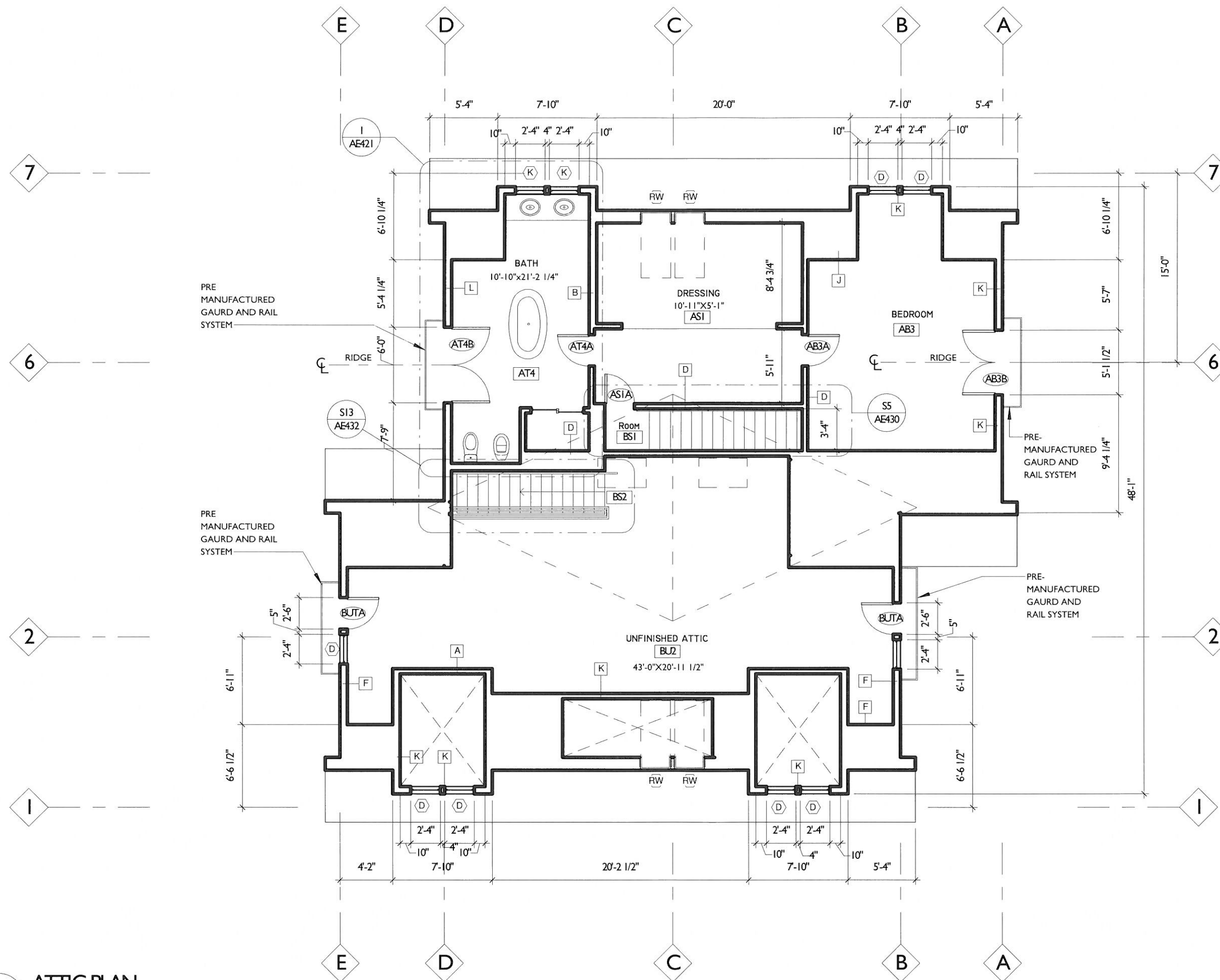


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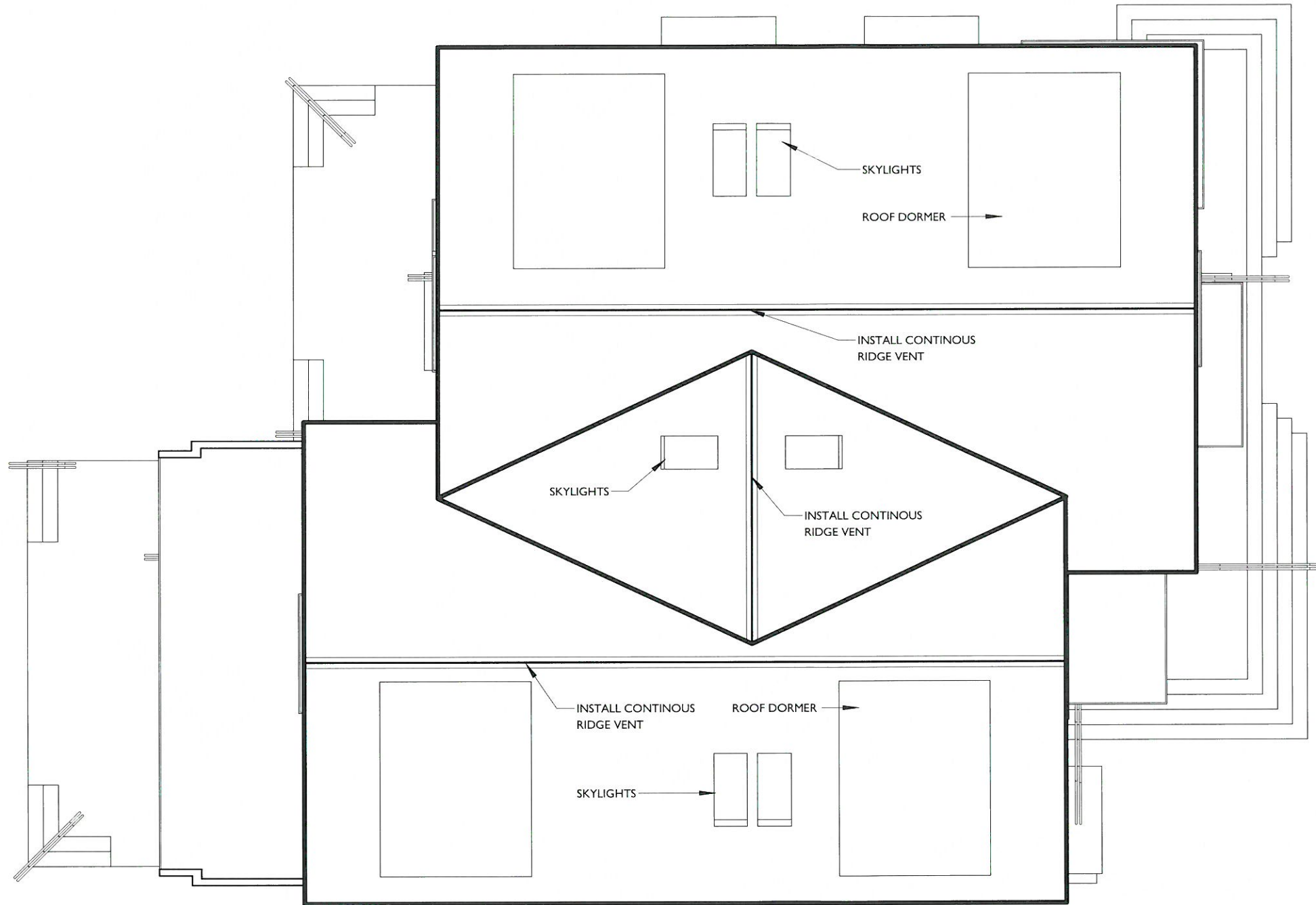
Attic Plan

AE103



ATTIC PLAN

SCALE: ORIGINAL IS 1/8" = 1'-0" @ ANSI B



1

ROOF PLAN

SCALE: ORIGINAL IS 1/8" = 1'-0" @ ANSI B

CONSTRUCTION DOCUMENTS



AS NOTED	11/17/16	PERMIT
SCALE:	DATE	DESCRIPTION

CAD FILE:
DRAWN BY: Author
CHECKED BY: RTN
SCALE:

ROOF PLAN

AE104

Thurston Residences
RENOVATIONS AND ADDITIONS
84 THURSTON STREET SOMERVILLE, MA 02144

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Thurston Residences

RENOVATIONS & ADDITIONS

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SOUTH DRIVEWAY SIDE VIEW EXTERIOR ELEVATION
SCALE: AS NOTED

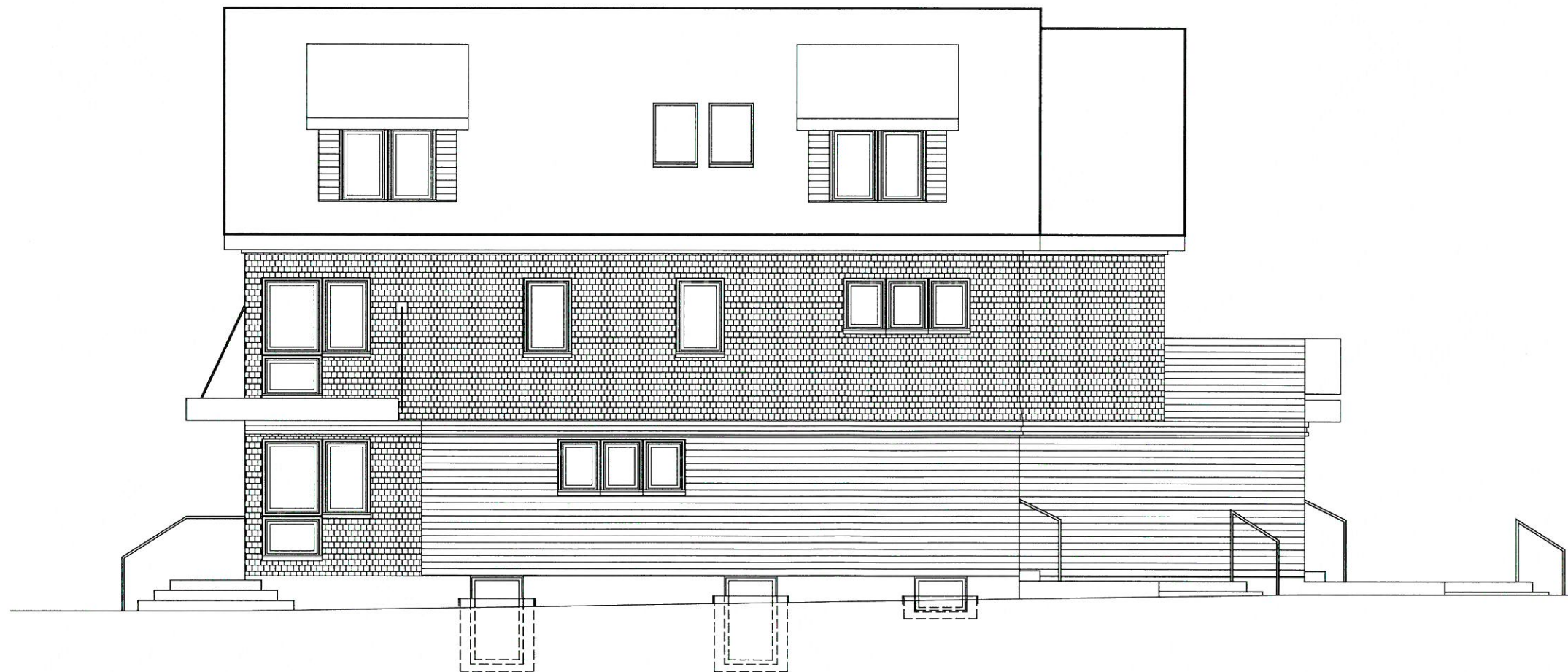
CONSTRUCTION DRAWINGS

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BUILDING ELEVATIONS

AE201



B NORTH ARBORWAY VIEW EXTERIOR ELEVATION
AS NOTED

Thurston Residences

RENOVATIONS & ADDITIONS

84 THURSTON STREET SOMERVILLE, MA 02144

NILSSON + ASSOCIATES ARCHITECTS
ARCHITECTURE, PLANNING & INTERIOR DESIGN
411A HIGHLAND AVENUE, SUITE 326A, SOMERVILLE, MA 02144-1538
P: +1 617-623-1266 F: + 617-623-6066 E-mail: info@nilssonassociates.us

CONSTRUCTION DRAWINGS

AS NOTED	12/13/16	PERMIT
SCALE	DATE	DESCRIPTION

CAD FILE: A-EL-202
DRAWN BY: RTN
CHECKED BY:
SCALE 3/16" = 1'-0"

BUILDING ELEVATIONS

AE202



C WEST GARDEN SIDE VIEW EXTERIOR ELEVATION
SCALE: AS NOTED

Thurston Residences

RENOVATIONS & ADDITIONS

84 THURSTON STREET SOMERVILLE, MA 02144

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CONSTRUCTION DRAWINGS

AS NOTED SCALE	12/13/16 DATE	PERMIT DESCRIPTION
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CAD FILE:	A-EL-203
DRAWN BY:	RTN
CHECKED BY:	
SCALE	3/16" = 1'-0"

BUILDING ELEVATIONS

AE203



D

SOUTH DRIVEWAY SIDE VIEW EXTERIOR ELEVATION

SCALE: AS NOTED

Thurston Residences

RENOVATIONS & ADDITIONS

84 THURSTON STREET SOMERVILLE, MA 02144

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CONSTRUCTION DRAWINGS

AS NOTED SCALE	12/13/16 DATE	PERMIT DESCRIPTION
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CAD FILE:	A-EL-204
DRAWN BY:	RTN
CHECKED BY:	
SCALE	3/16" = 1'-0"

BUILDING ELEVATIONS

AE204