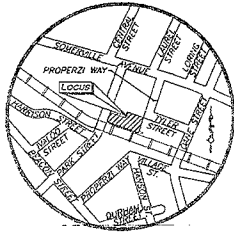


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LOCUS MAP
(NOT TO SCALE)

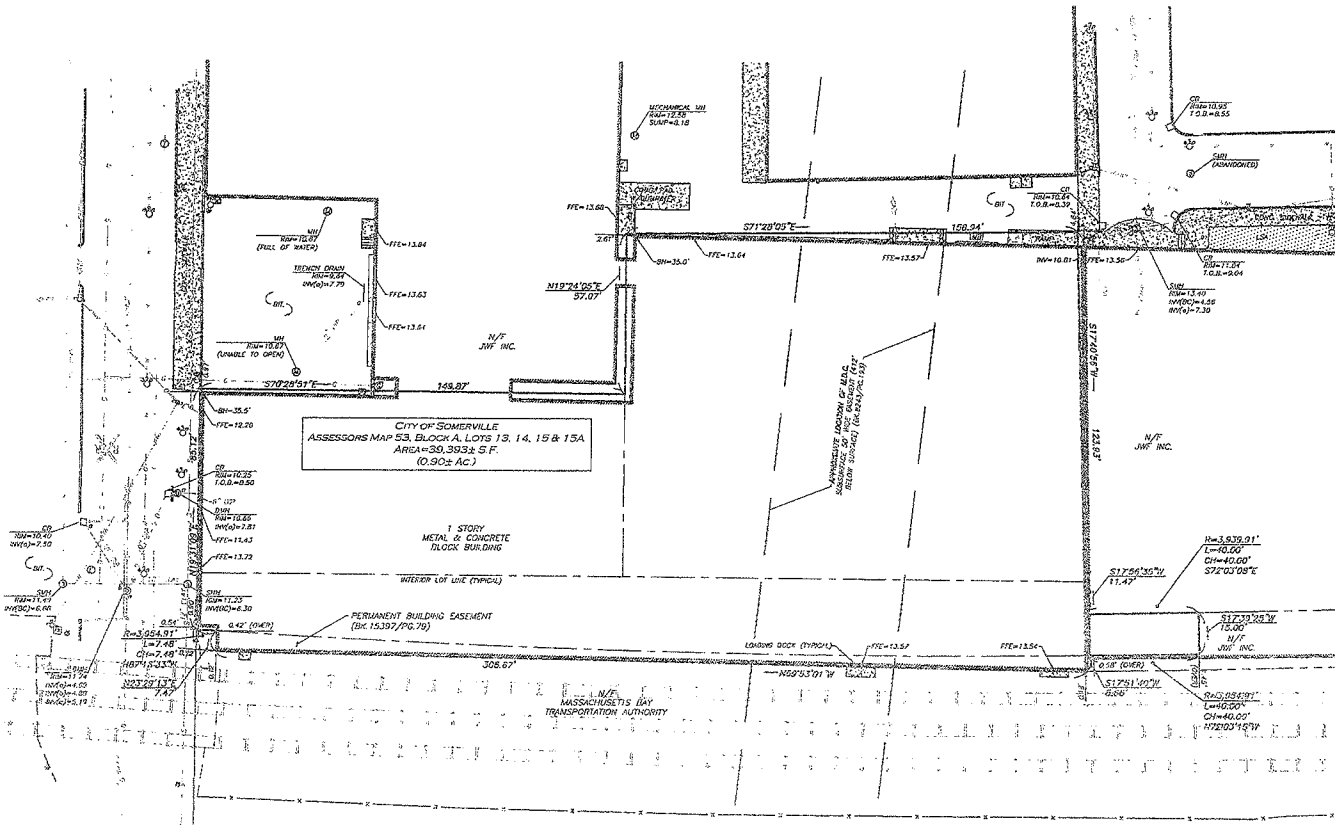
PLAN REFERENCES
-PLAN 1706 OF 1988
-PLAN BOOK 10, PLAN 44
-PLAN 21 OF 1984
-PLAN 9 END OF BOOK 3281
-PLAN 1244 OF 1987
-PLAN 741 OF 1987
-PLAN 1091 OF 1976
-L.C.C. 0835 A
-L.C.C. 20194 A
-PLAN 036 OF 1936
-PLAN 1424, PLAN 19
-PLAN 825 OF 1935
-PLAN 50 OF 1971
-PLAN BOOK 180, PLAN 4

LOCUS REFERENCES

-CITY OF SOMERVILLE ASSESSORS MAP 53, LOTS 13, 14, 15 & 15A

NOTES

1. NORTH ARROW TAKEN BASED ON MASSACHUSETTS STATE PLANE COORDINATE SYSTEM (MAINLAND ZONE) (NAD83).
2. BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM WILDESEY (SOUTH) REGISTRY OF DEEDS IN CHAMBRIDGE, MA.
3. LOCATION OF M.D.C. EASEMENT SCALED FROM PLAN 1736 OF 1988.
4. ALL CURBING SHOWN HEREON IS GRANITE CURB.
5. VERTICAL DATUM IS MVD-88.



FOR REGISTRY USE ONLY

LEGEND

- DRAIN MANHOLE (DMH)
- SEWER MANHOLE (SMH)
- ELECTRIC MANHOLE (EMH)
- MISC. MANHOLE (MH)
- TELEPHONE MANHOLE (TMH)
- CATCH BASIN (CB)
- UTILITY POLE
- UTILITY POLE W/ RISER
- UTILITY POLE W/ LIGHT
- GUY WIRE
- FIRE HYDRANT
- FIRE STANDPIPE
- WATER GATE
- GAS GATE
- BOLLARD
- FIRE ALARM BOX
- WARRANT (W)
- RAILROAD TRACK GATE
- MAILBOX
- TRANSFORMER
- GATE POST
- GAS METER
- POSITION INDICATOR VALVE
- CONCRETE
- LANDSCAPED AREA (LSA)
- BUILDING
- BUILDING OVERHANG
- EASEMENT LINE
- PROPERTY LINE
- ADJUTERS LINE
- CONCRETE RETAINING WALL
- EDGE OF PAVEMENT
- CURB
- CHAIN LINK FENCE
- RAILROAD TRACKS
- GUARDRAIL
- WATER LINE
- SEWER LINE
- DRAIN LINE
- SEWER-DRAIN LINE
- GAS LINE
- ELECTRIC LINE
- TELEPHONE LINE
- OVERHEAD WIRES
- FINISHED FLOOR ELEVATION
- BUILDING HEIGHT
- GLUTIMINOUS
- CONCRETE
- GRANITE
- BITUMEN CENTER
- POLYMER CHLORIDE PIPE
- DUCTILE IRON PIPE
- TOP OF BELL
- HOW OR FORMERLY
- BOOK
- PAGE
- LAND COURT CASE

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.
N:\PROJECTS\1857-01\DRAWING\DRAWINGS\1857-01-CE.DWG
REV 1857 1857 1857 1857

WE HEREBY CERTIFY THAT:
THIS PLAN IS THE RESULT OF AN ACTUAL ON THE GROUND SURVEY PERFORMED ON OR BETWEEN MARCH 9, 2012 AND MARCH 15, 2012.
THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS DATED JANUARY 1, 1978 AND REVISED JANUARY 12, 1988.
ACCORDING TO DEEDS AND PLANS OF RECORD, THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIP, AND THE LINES OF THE STREETS OR WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS AND WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR THE DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.
THE ABOVE CERTIFICATION IS INTENDED TO MEET REGISTRY OF DEEDS REQUIREMENTS FOR THE REGISTRATION OF PLANS AND IS NOT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE PROPERTY SHOWN.
OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO CURRENT CITY OF SOMERVILLE ASSESSORS' INFORMATION. THE ABOVE IS CERTIFIED TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF.

ALLEN & MAJOR ASSOCIATES, INC.

ISSUED FOR REVIEW
MARCH 15, 2012

PROFESSIONAL LAND SURVEYOR FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
1	03/15/12	ISSUED FOR REVIEW

APPLICANT/OWNER:
JEREMY BALBONI
35 CHANNEL CENTER
SUITE 402
BOSTON, MA 02210

PROJECT:
10 TYLER STREET
SOMERVILLE, MA

PROJECT NO. 1857-01 DATE: 03/15/12
SCALE: 1" = 20' DWG. NAME: 1857-01-CE
DRAWN BY: COB CHECKED BY: KJK
DATE: 03/15/12

ALLEN & MAJOR ASSOCIATES, INC.
180 COMMERCIAL WAY
P.O. BOX 3119
WOBURN, MA 01801-0319
TEL: (617) 934-8889
FAX: (617) 934-8890

THE DRAWING HAS BEEN PREPARED IN ELECTRONIC FORMAT. CLOUDPOINTS REPRESENTATION OF DATA THAT MAY BE PROVIDED CHANGES AND SPECIFICATIONS ON MAGNETIC MEDIA FOR THE USER'S INFORMATION AND USE ARE NOT BEING APPLIED TO THIS PROJECT. DUE TO THE POTENTIAL THAT THE CLOUDPOINTS INFORMATION MAY BE DELETED OR MODIFIED BY OTHERS, ALLEN & MAJOR ASSOCIATES, INC. MAY REQUEST ALL INFORMATION OF THE CLOUDPOINTS INFORMATION ON THE MAGNETIC MEDIA. PROTECT REPRESENTATIONS OF THE INFORMATION AND INFORMATION USED SHALL IN THE FUTURE BECOME THE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.

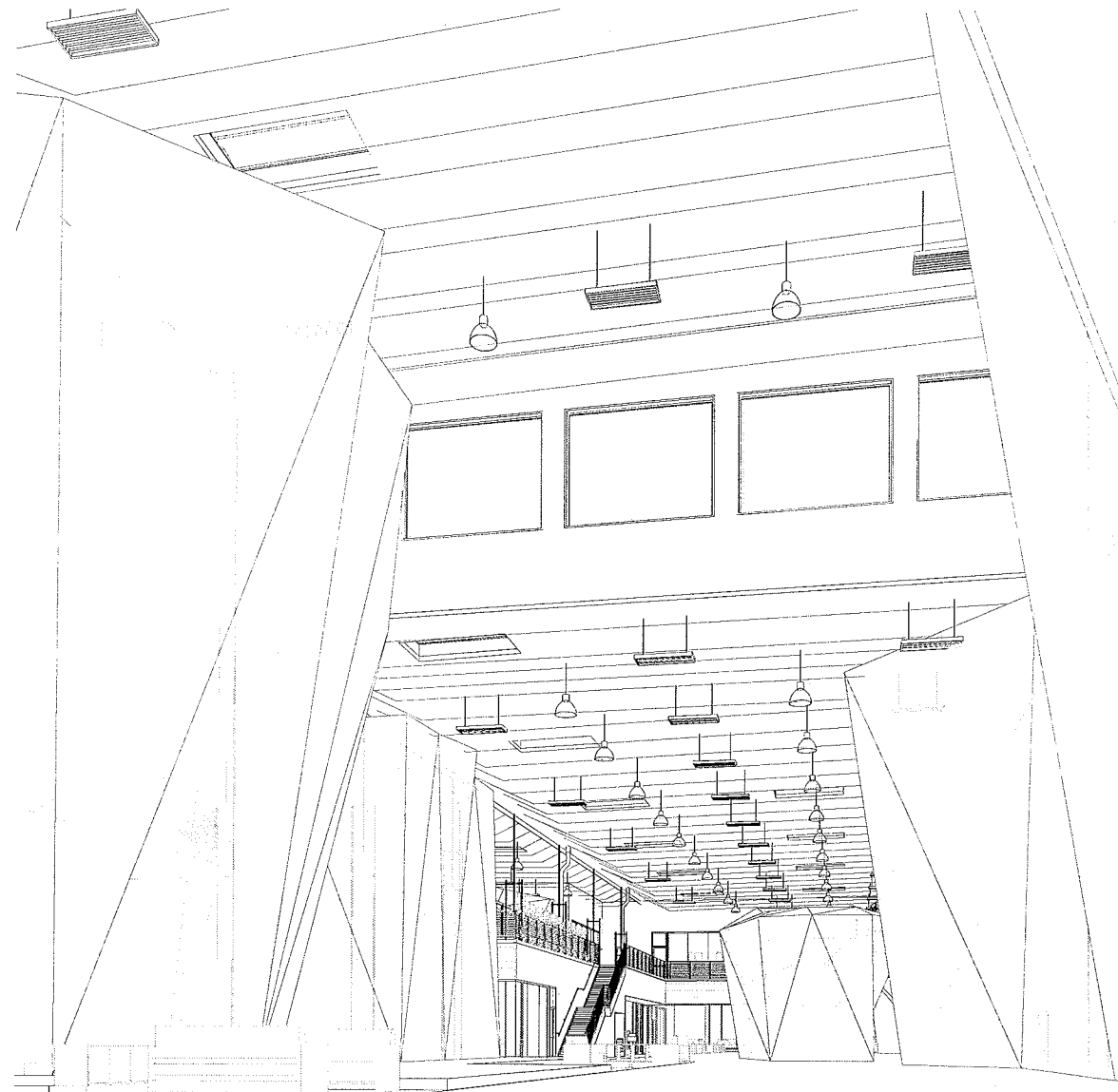
DRAWING TITLE: PLOT PLAN SHEET NO. 1

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PETRA SOMERVILLE INC.

10 TYLER STREET, SOMERVILLE, MA

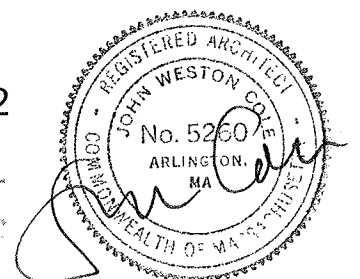


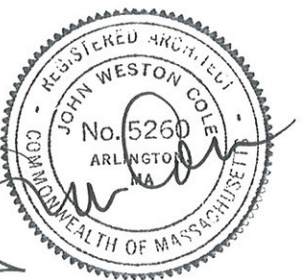
SHEET NUMBER	SHEET NAME
A1.0	AERIAL VIEW
A2.0	EXISTING FLOOR PLAN
A2.1	FIRST FLOOR PLAN
A2.2	SECOND FLOOR PLAN
A2.3	EXISTING ROOF PLAN
A2.4	ROOF PLAN
A3.0	EXISTING EXTERIOR ELEVATIONS
A3.1	EXTERIOR ELEVATIONS
A3.2	BUILDING SECTIONS
A4.0	PERSPECTIVES
A5.0	SHADOW STUDIES

20 MARCH 2012

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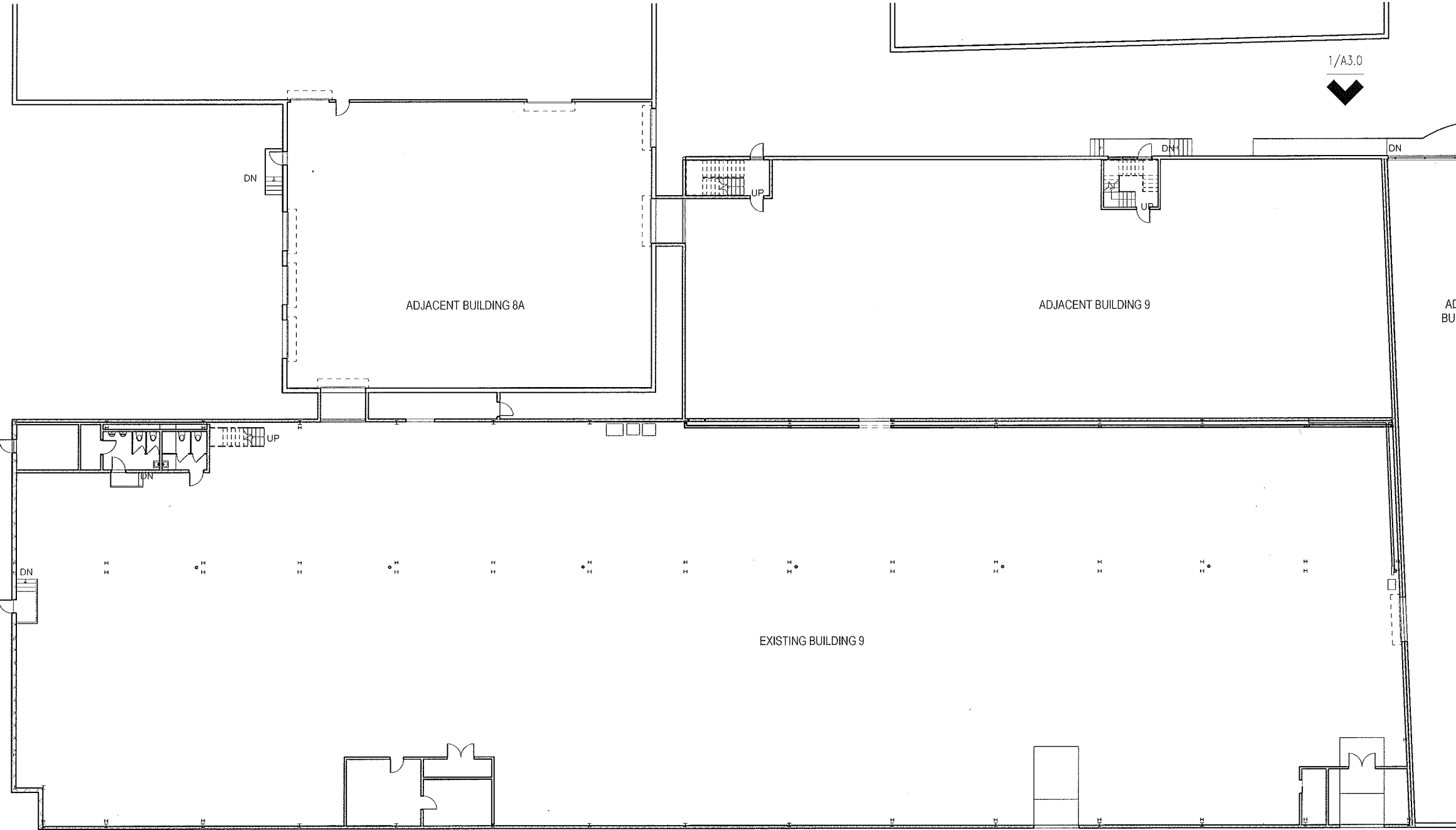


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PARK STREET

3/A3.0



1/A3.0



ADJACENT BUILDING 8A

ADJACENT BUILDING 9

ADJACENT BUILDING 13

EXISTING BUILDING 9

MBTA

MBTA

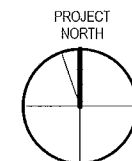


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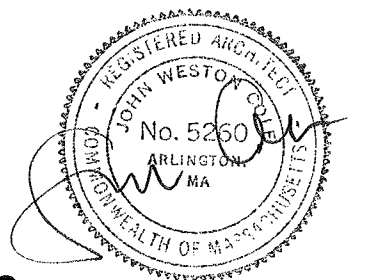
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PETRA SOMERVILLE INC.
10 TYLER STREET, SOMERVILLE, MA

EXISTING FLOOR PLAN
20 MARCH 2012
1/16" = 1'-0"



A2.0



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PARK STREET

TYLER STREET

EXISTING ALLEYWAY

ENTRY / EXIT

1/A3.1

RAMP 1:12

ENTRANCE HALL

BSC 310000

ADJACENT BUILDING 13

ADJACENT BUILDING 8A

ADJACENT BUILDING 9

EXIT

RAMP 1:12

RAMP 1:12

DN

WOMEN'S RESTROOM

UNISEX RESTROOM

ELEC. RM.

MAIN ELEC.

PARTY ROOM

PARTY ROOM

LOUNGE ROOM

MEN'S LOCKERS

MEN

WOMEN

WOMEN'S LOCKERS

LOBBY / RECEPTION

LOUNGE

STAFF ROOM

LIFT

EXIT

92'-0" +/-

3/A3.1

GYM AREA

FLOOR PADDING

UNPADDED WALKWAY

FLOOR PADDING

GYM AREA

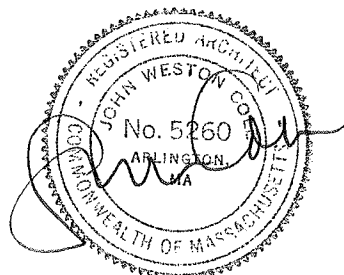
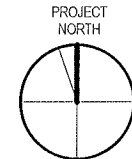
TOTAL OCCUPANTS: 727

314' +/-

MBTA

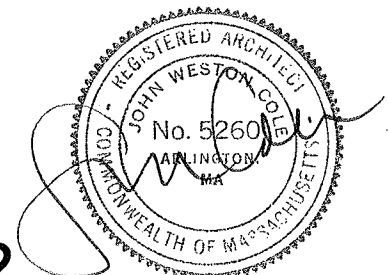
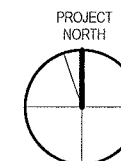
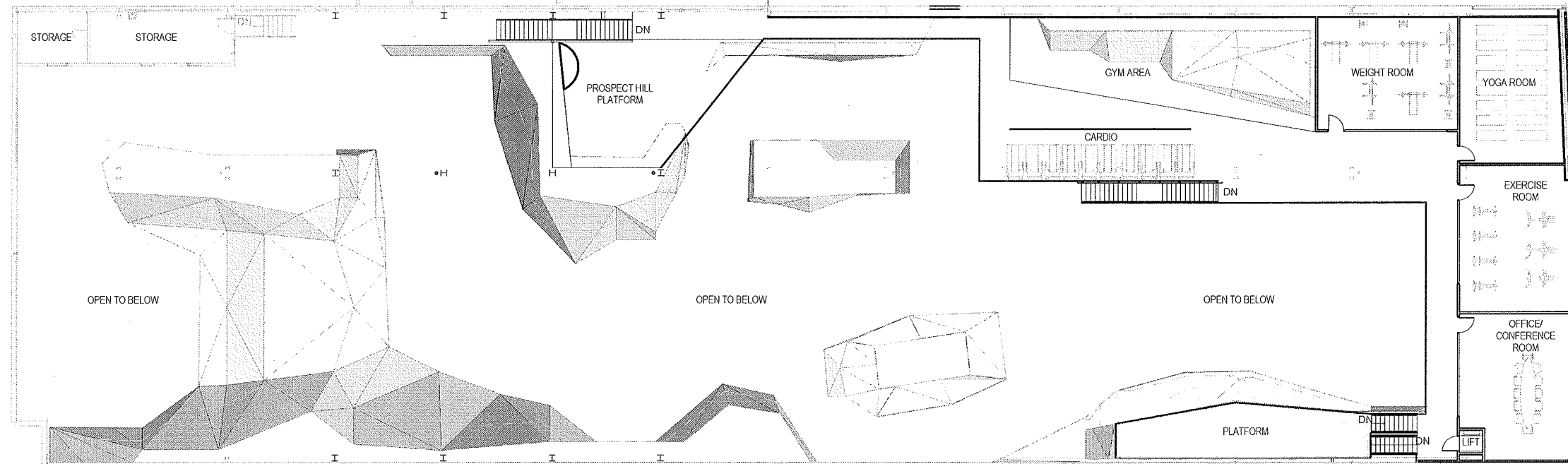
MBTA

2/A3.1



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1/A3.0



3/A3.0



EXISTING SKYLIGHTS

EXISTING ROOF LEVEL
EL. 135' 5 1/2"



2/A3.0

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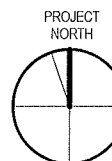
PETRA SOMERVILLE INC.

10 TYLER STREET, SOMERVILLE, MA

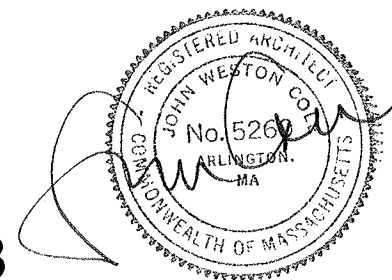
EXISTING ROOF PLAN

20 MARCH 2012

1/16" = 1'-0"

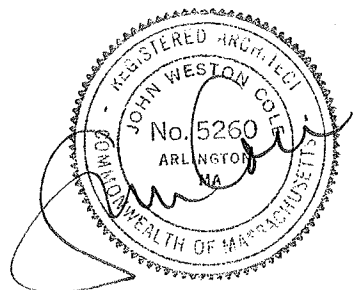
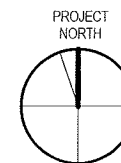
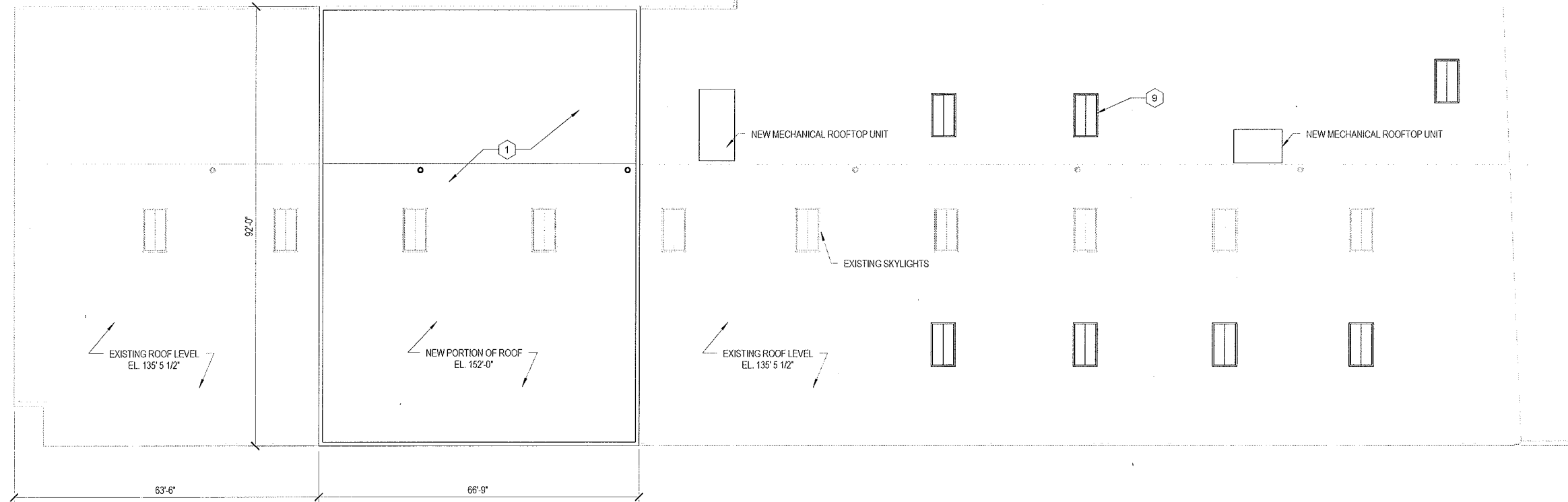


A2.3



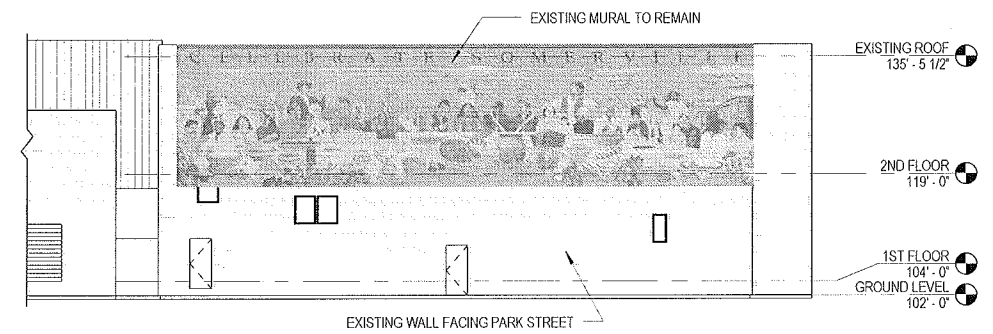
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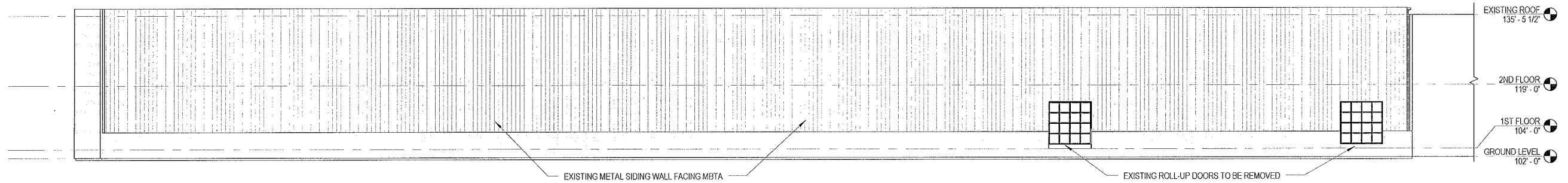


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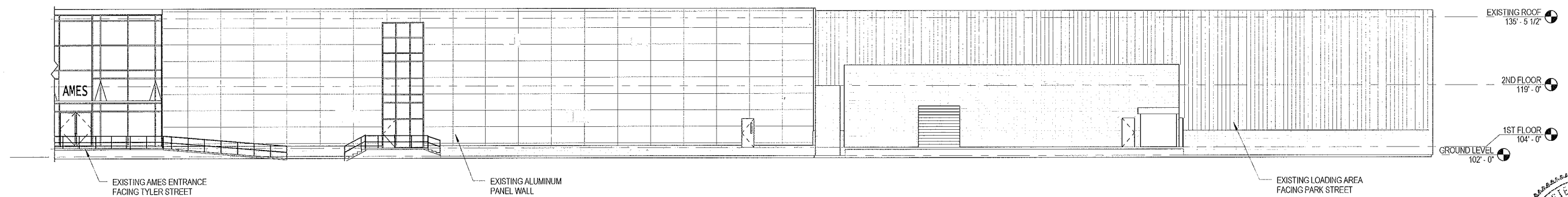
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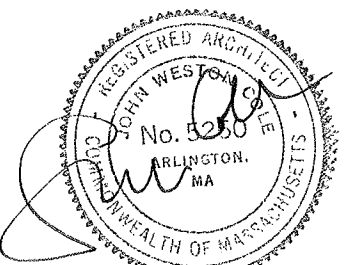
3 WEST ELEVATION
1/16" = 1'-0"



2 SOUTH ELEVATION
1/16" = 1'-0"



1 NORTH ELEVATION
1/16" = 1'-0"

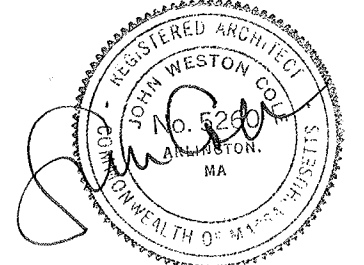
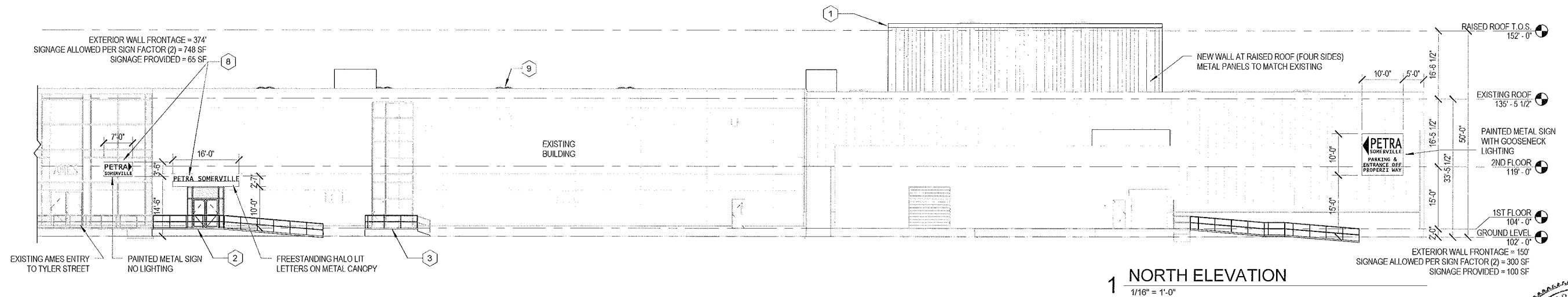
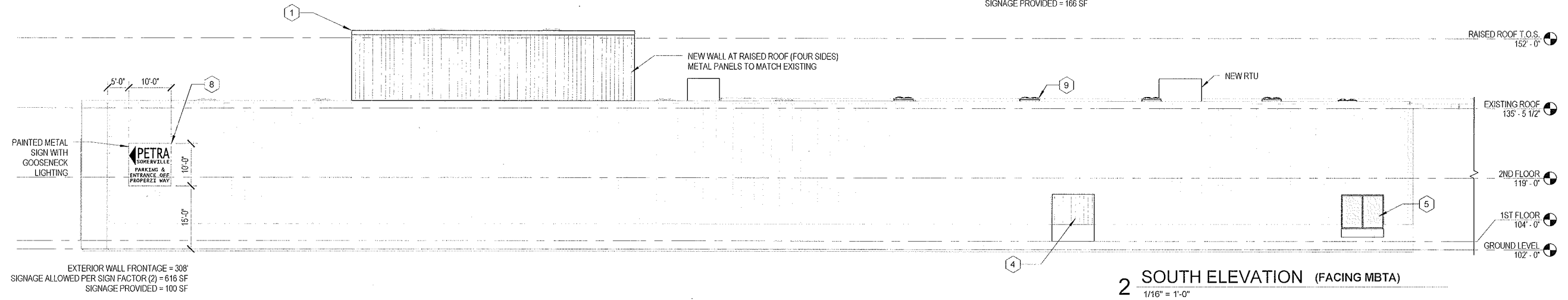
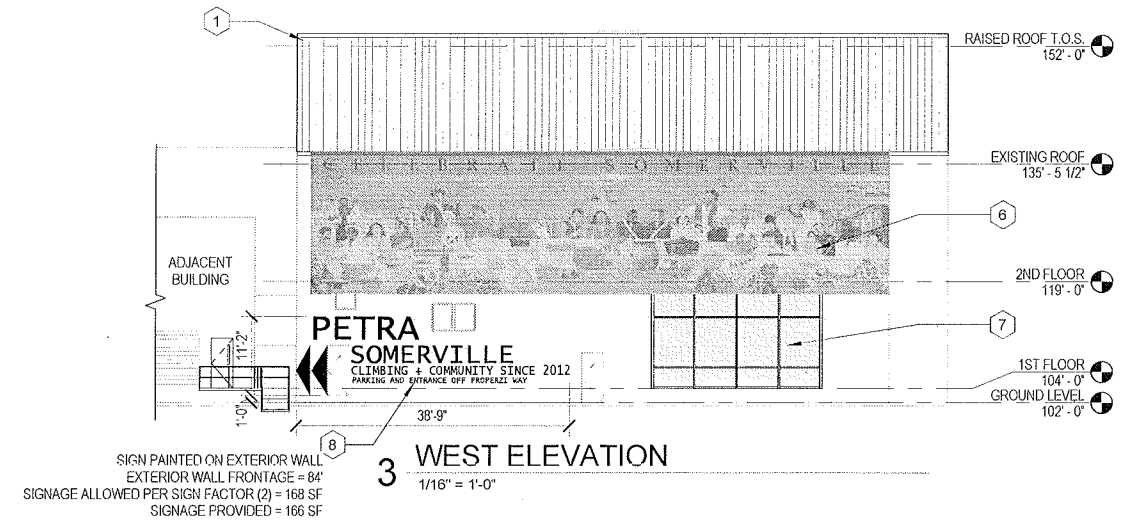


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LIST OF ALTERATIONS / ADDITIONS TO EXISTING BUILDING 9 STRUCTURE

- 1 RAISE PORTION OF ROOF 16'-6 1/2"
AREA OF RAISED ROOF = 6,140 SF
- 2 MODIFY EXISTING ENTRY RAMP FACING TYLER ST. FOR NEW ENTRY TO PETRA.
- 3 MODIFY EXISTING ENTRY RAMP FOR ADJACENT TENANT.
- 4 PATCH / FILL EXISTING WALL FACING MBTA.
- 5 ADD NEW WINDOW FACING MBTA.
- 6 EXISTING SOMERVILLE MURAL TO REMAIN.
- 7 ADD NEW WINDOW FACING PARK ST.
- 8 NEW SIGNAGE.
- 9 NEW SKYLIGHTS (7 TOTAL)

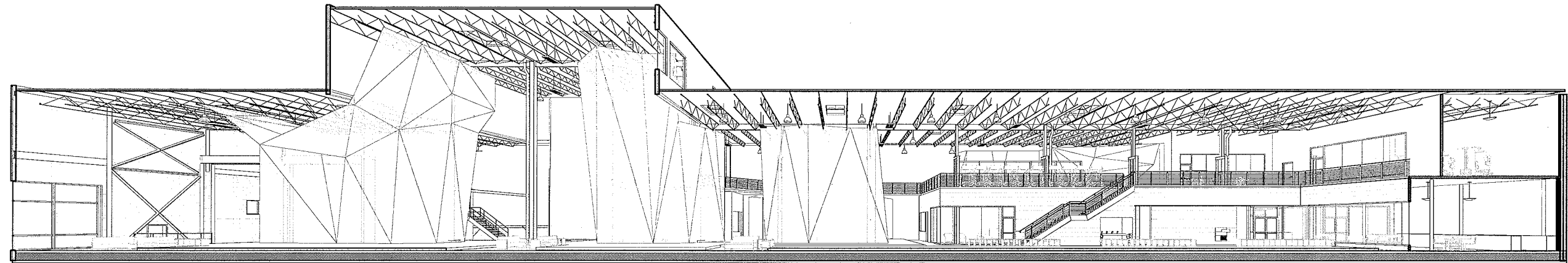


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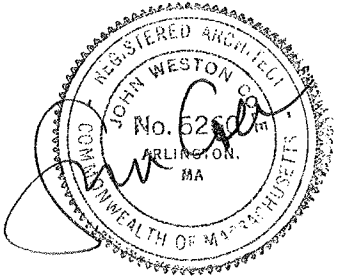
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2 SECTION TRANSVERSE PERSPECTIVE

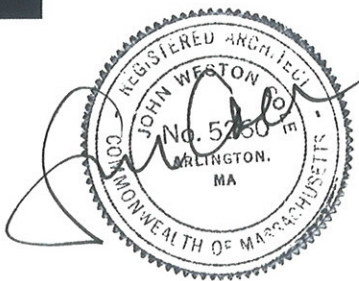


1 SECTION LONGITUDINAL PERSPECTIVE



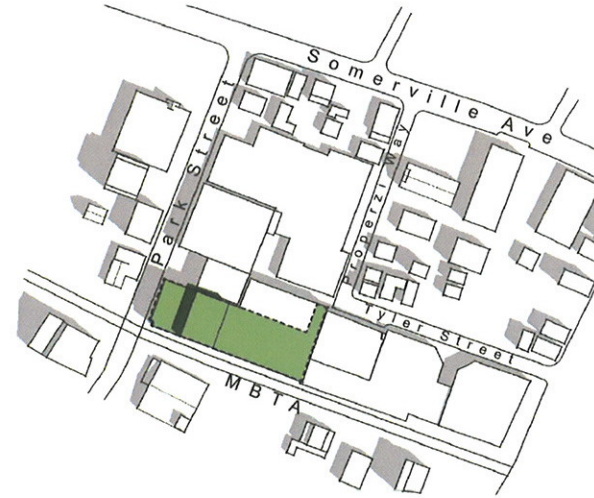
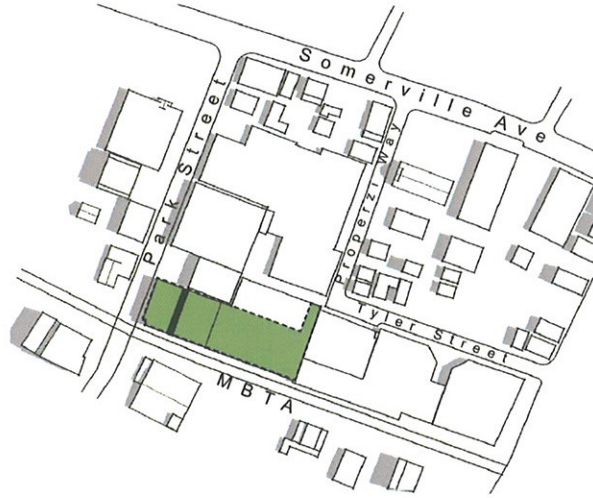
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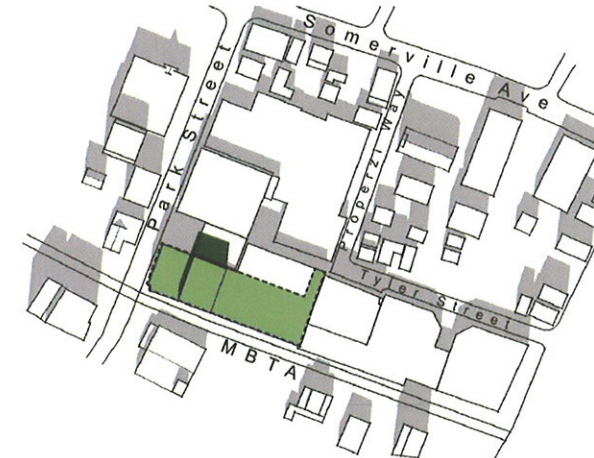
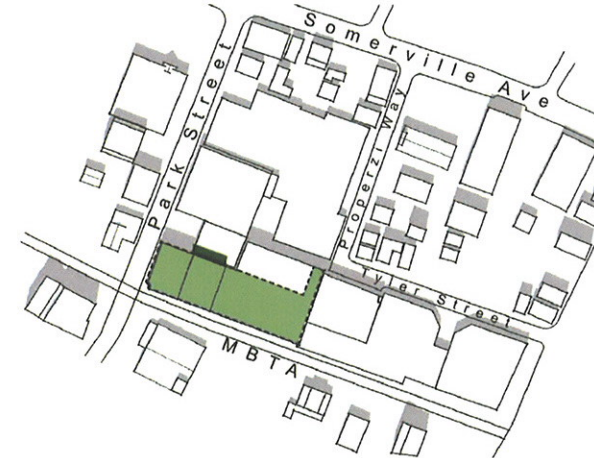
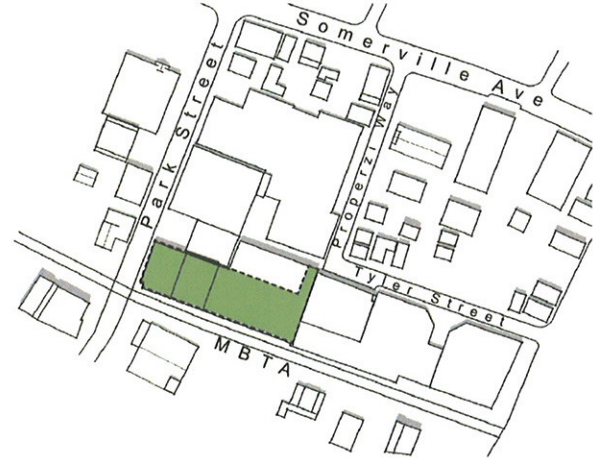


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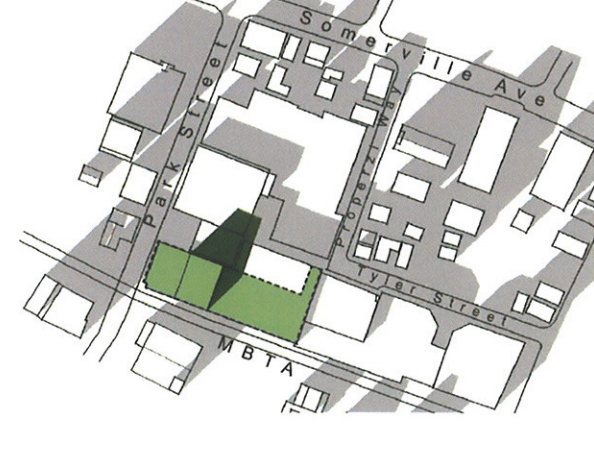
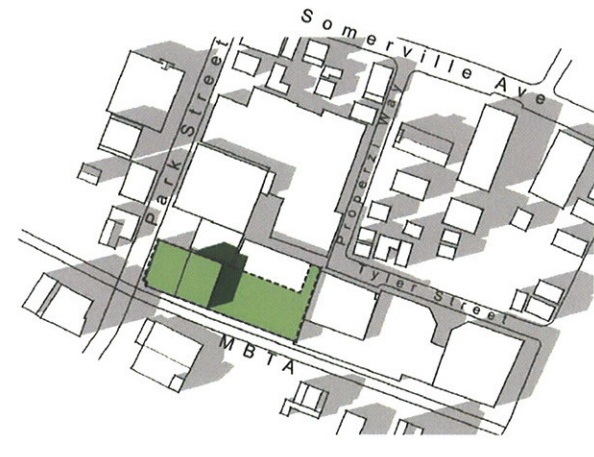
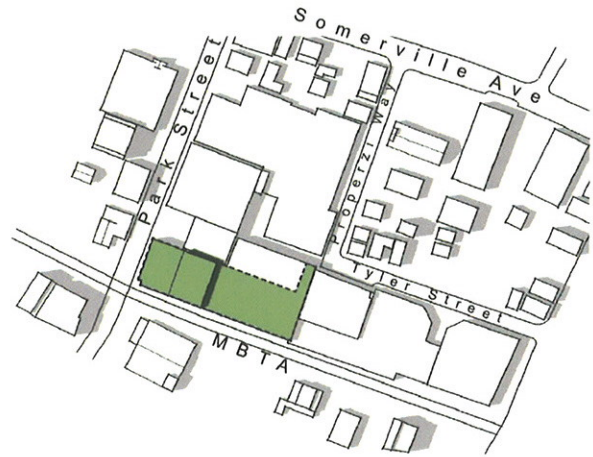
9 AM



12 NOON



3 PM



June 21

September / March 21

December 21

