

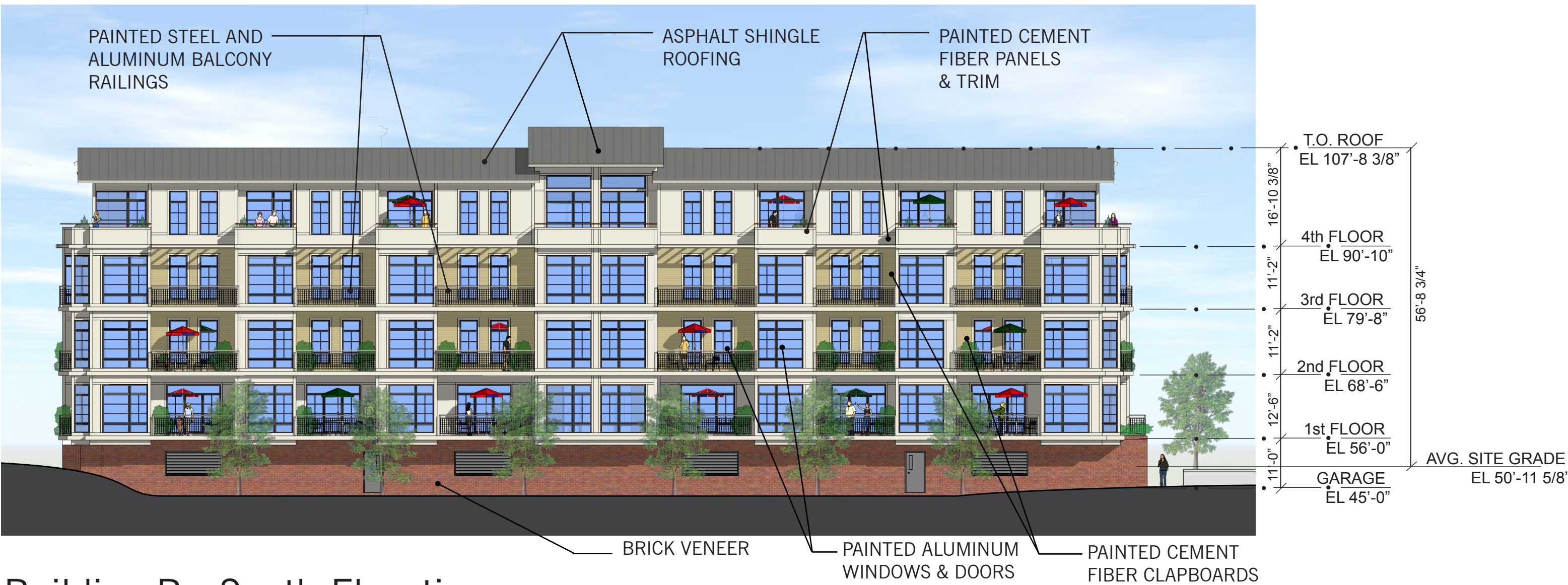
Building B - West Elevation



Building B - North Elevation

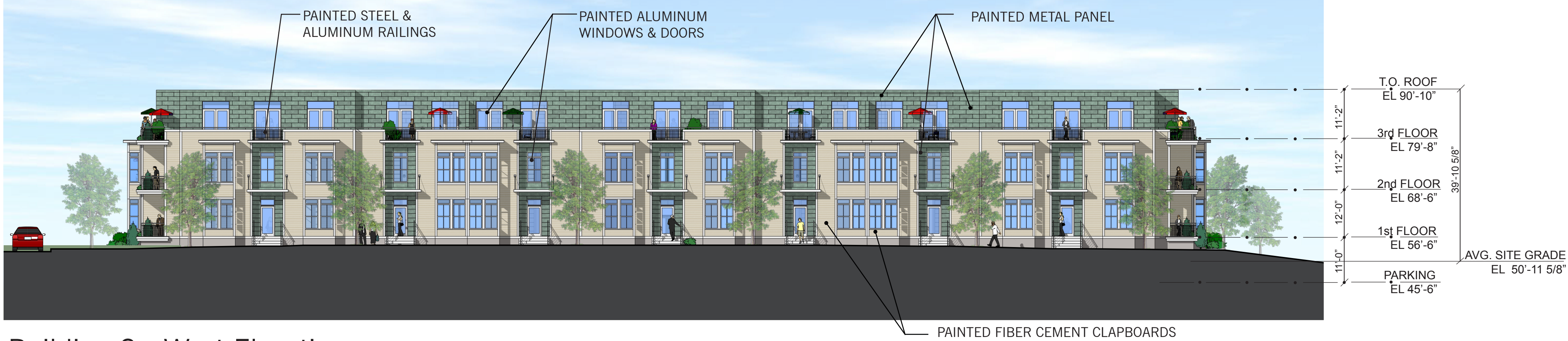


Building B - East Elevation



Building B - South Elevation

Note: Building elevations do not show rooftop mechanical equipment at this stage.
Rooftop equipment will be indicated as the mechanical design develops.



Building C - West Elevation



Building C - East Elevation



Building C - North Elevation



Building C - South Elevation

Note: Building elevations do not show rooftop mechanical equipment at this stage. Rooftop equipment will be indicated as the mechanical design develops.

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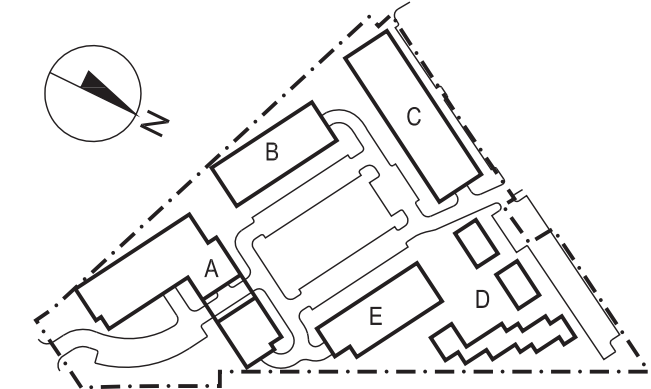
Revision:

Architect of Record:

SPECIAL PERMIT
WITH SITE PLAN REVIEW

NOT FOR CONSTRUCTION

Drawn: T.A.T.
Checked: T.A.T.
Scale: 1/16" = 1'-0"
Key Plan:



Project Name:

MaxPac Square

Somerville, MA

Sheet Name:

Building C
Elevations

Project Number:

2593

Issue Date:

November 24, 2008

Sheet Number:

A4.04



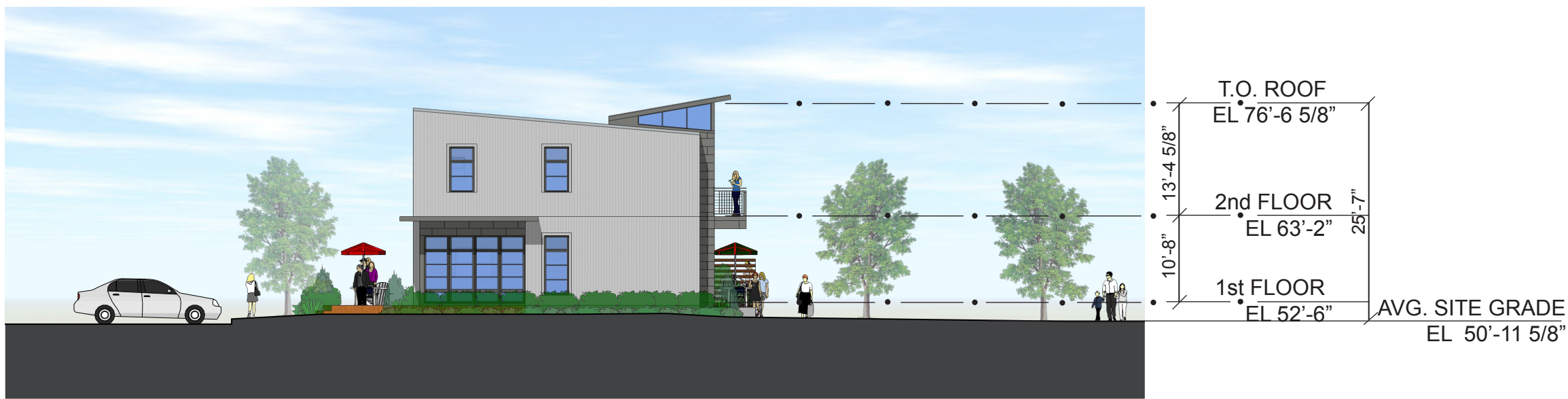
Building D - Typical Front Elevation



Building D - Typical Rear Elevation



Building D - Typical Side Elevation



Building D - Typical Side Elevation

Note: Building elevations do not show rooftop mechanical equipment at this stage.
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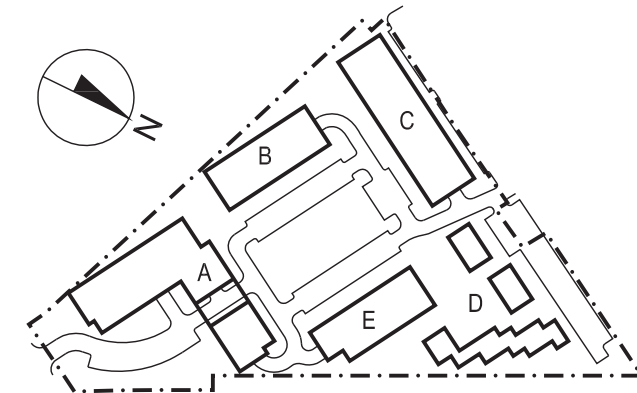
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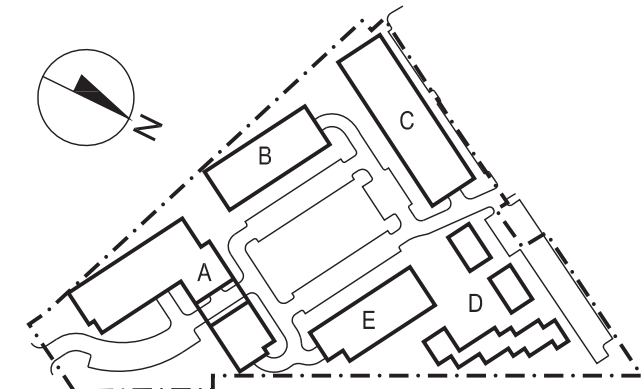
2593

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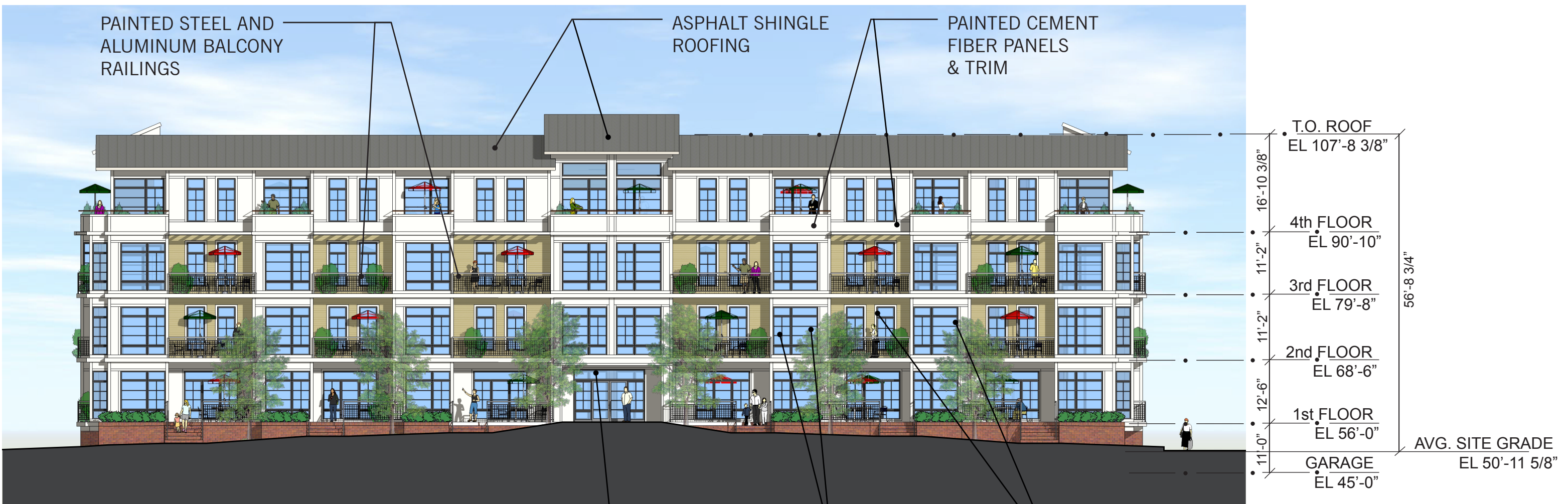
Building E - West Elevation



Building E - North Elevation



Building E - East Elevation




Building E - South Elevation

Note: Building elevations do not show rooftop mechanical equipment at this stage.
Rooftop equipment will be indicated as the mechanical design develops.



Revision:



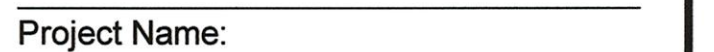
Seal of the Commonwealth of Massachusetts, State of Professional Engineers. The seal is circular with a serrated edge. Inside the circle, the text reads: "COMMONWEALTH OF MASSACHUSETTS", "DANIEL M. FEENEY", "CIVIL", "No. 41422", "REGISTERED", and "PROFESSIONAL ENGINEER". Below the seal, the signature "Daniel M. Feeney" is written in blue ink, followed by the date "11/24/2008".

Drawn: FDW/PS

Checked: DMF

Scale: 1" = 40'

Key Plan:



Somerville, MA

Sheet Name: _____

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2593

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November 24, 2008

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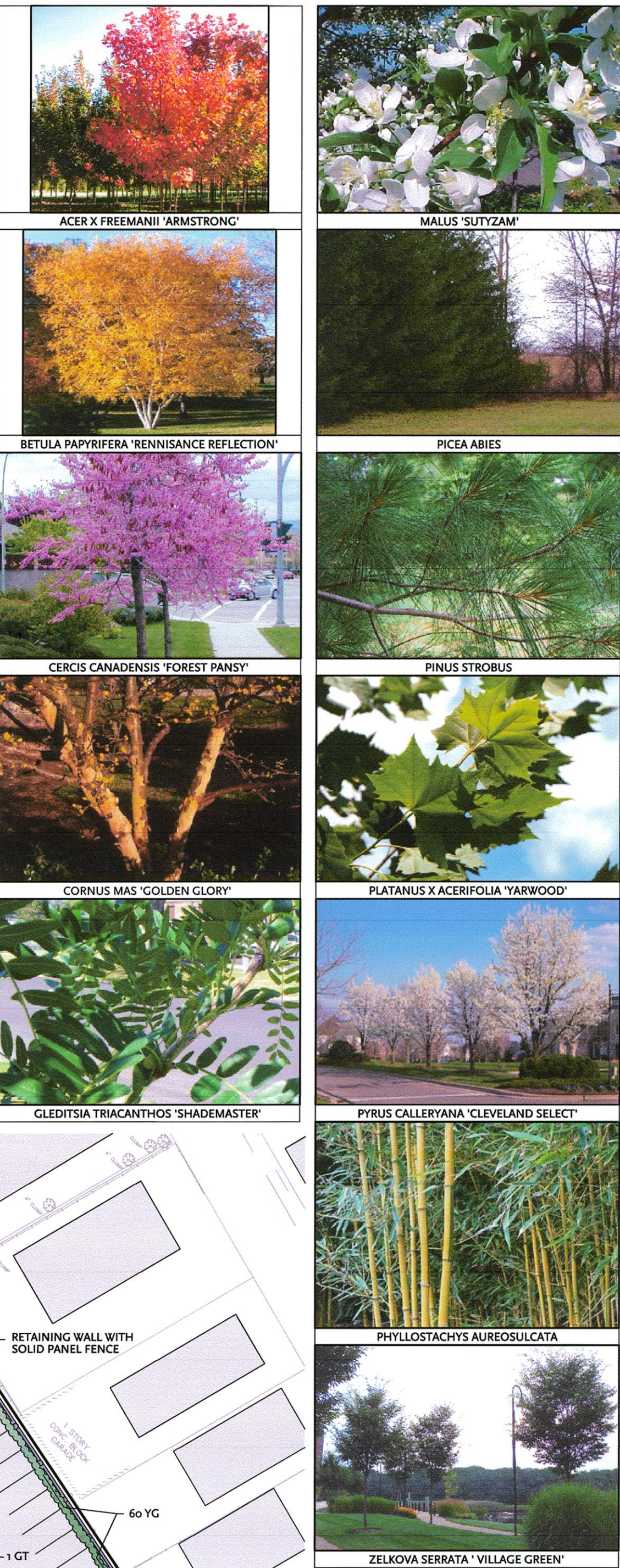
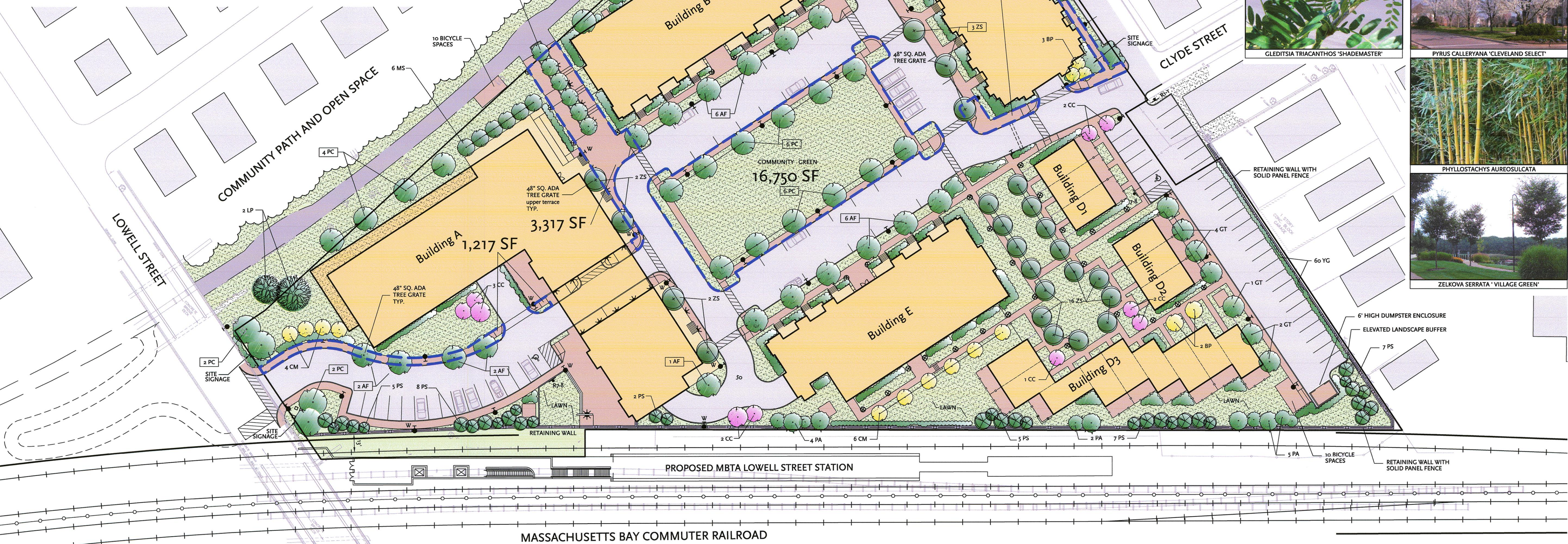
C1.01



KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
LP	2	PLATANUS X ACERIFOLIA 'YARWOOD'	LONDON PLANETREE	3" CAL.
AF	17	ACER X FREEMANII 'ARMSTRONG'	ARMSTRONG COLUMNAR MAPLE	3" CAL.
ZS	25	ZELKOVA SERRATA 'VILLAGE GREEN'	VILLAGE GREEN ZELKOVA	3" CAL.
GT	13	GLEDITSIA TRIACANTHOS 'SHADEMASTER'	SHADEMASTER HONEY LOCUST	3" CAL.
CC	18	CERCIS CANADENSIS 'FOREST PANSY'	EASTERN REDBUD	3" CAL.
PC	28	PYRUS CALLERYANA 'CLEVELAND SELECT'	CALLERY PEAR	3" CAL.
MS	6	MALUS 'SUTYZAM'	SUGAR TYME CRABAPPLE	3" CAL.
CM	10	CORNUS MAS 'GOLDEN GLORY'	CORNELIANCHERRY DOGWOOD	3" CAL.
BP	15	BETULA PAPPYRIFERA 'RENNISANCE REFLECTION'	RENNISANCE REFLECTION BIRCH	8'-10' HT.
PS	34	PINUS STROBUS	EASTERN WHITE PINE	8'-10' HT.
PA	11	PICEA ABIES	NORWAY SPRUCE	8'-10' HT.
YG	60	PHYLLOSTACHYS AUROSULCATA	YELLOW GROVE BAMBOO	7 GAL.

REGULATION	REQUIRED	PROVIDED
- MINIMUM LOT SIZE	75,000 SF	± 236,338 SF
- LANDSCAPED AREA - MINIMUM 20% OF LOT AREA	20 % = 47,268 SF (1.1 AC)	± 48 % total = 114,400 SF (2.63 AC) ± 33 % permeable = 79,200 SF (1.8 AC) ± 15 % impervious = 10,200 SF (0.23 AC)
- PERMANENT USABLE OPEN SPACE = 50% OF MINIMUM LANDSCAPED AREA	50% = 23,634 SF (.54 AC)	23,640 SF
PROVIDE 1 TREE PER 1,000 SF LANDSCAPED AREA	48 TREES (3" CALIPER PER TREE)	179 TREES PROVIDED

- NOTES**
- All existing trees and invasive species on Subject Property to be removed.
 - Proposed tree species and locations have been chosen for diagrammatic purposes and are subject to change so long as all planting materials satisfy zoning requirements and are appropriately suited to the site conditions and program needs of the development.
 - Trees proposed along accessible routes shall include 4' square ADA grates (as shown on plan). The accessible route will maintain a minimum clearance of 4 feet.
- "Screening shall consist of: a) strips of land at least four feet wide, densely planted with shrubs and/or trees... b) walls and/or fences at least four (4) feet high, but no more than six (6) feet in height." "Use of a combination of screening methods and mixtures of plants is highly desirable, as is design of undulating berms and staggered plantings." (Article 10, Section 10.5.2)
- "there shall be landscaped areas within the parking lot and/or immediately adjacent to and within five (5) feet of the perimeter of said parking area(s) in the minimum amount of twenty-four (24) square feet for each parking space." "It is recommended that no parking space be located more than ninety (90) feet from a landscaped area." (Article 10, Section 10.4)
- "In addition, the term landscaping may include some natural or manufactured materials including, but not limited to, reflecting pools, works of art, walkways, screens, walls, fences, benches and other types of landscape or street furniture. Landscaping may also include other non-living materials used as components of a plan for improving outdoor space, such as rocks, pebbles, sand, bark mulch, landscape pavers, earthen mounds and the like, but excluding curbing and pavement for vehicular use." (Article 2, Section 2.8)
- "each open space area should be connected to another existing or proposed open space area, to the greatest extent possible, with the intent of establishing a network of usable open space. Said usable open space shall be accessible to the public at minimum from 9:00 am to 5:00 pm, and may be owned in whole or part by a private corporation or trust representing the owners or persons responsible for the PUD, or by a non-profit conservation organization, and shall be protected by a conservation restriction pursuant to M.G.L. Ch. 40A, Sec. 3 for common open space in cluster developments. A covenant shall be placed on the land such that no part of the PUD shall be sold or occupied until a satisfactory written agreement has been executed for protection of the open space. The required usable open space may also be in whole or part conveyed to a public entity, and the SPGA may require such for approval of the PUD, though the SPGA shall not make a requirement of public dedication of more than the 50% minimum landscaped area." (Article 16, Section 6.1)
- "Open space accessible to and designed for use by the public and limited to use as landscaped area and/or non-profit recreational uses. Landscaping, plazas, sidewalks, decks, arcades and loggias, landscaped boulevard medians of minimum fifteen (15) feet width, swimming pool, basketball and tennis courts and other sports facilities, boat launches, and similar uses, all of which are open to public use and, whether dedicated to such public use in fee or by easement, deed restriction, covenant or comparable legal instrument enforceable by the City of Somerville or other public entity, shall constitute usable open space for purposes of this Ordinance. Usable open space shall exclude all enclosed interior space, unless such space is associated with and integral to an accepted recreational use. (Also see "Landscaping", "Landscaped Area (Minimum)", "Open Space", and refer to Article 16, Planned Unit Development, for additional definitions and information)." (Article 2, Section 2.11)



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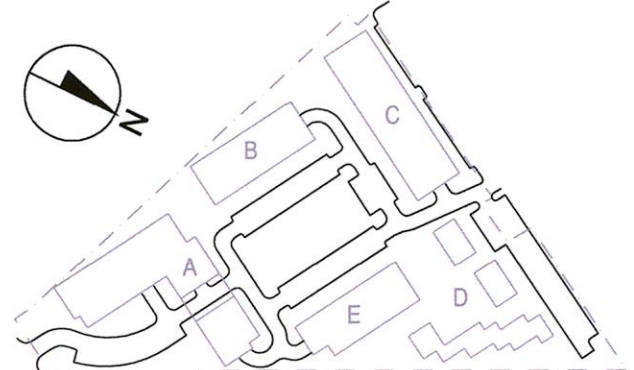
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Key Plan:



Project Name:

MaxPac Square

Somerville, MA

Sheet Name:

Landscape Plan

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2593
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C1.04