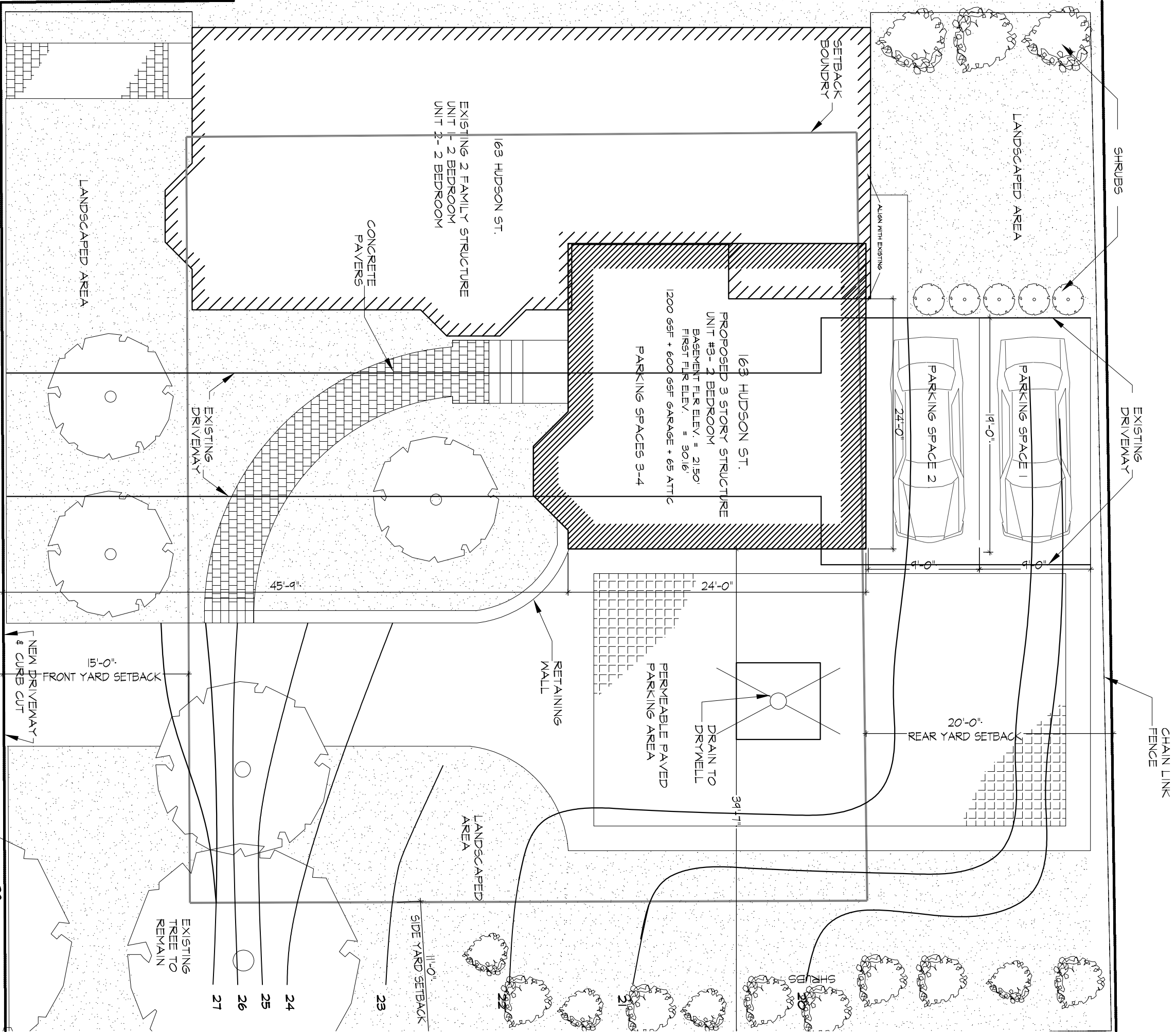




1 SITE PLAN
NTS

SITE PLAN

ADDITIONS & RENOVATIONS TO 163 HUDSON ST

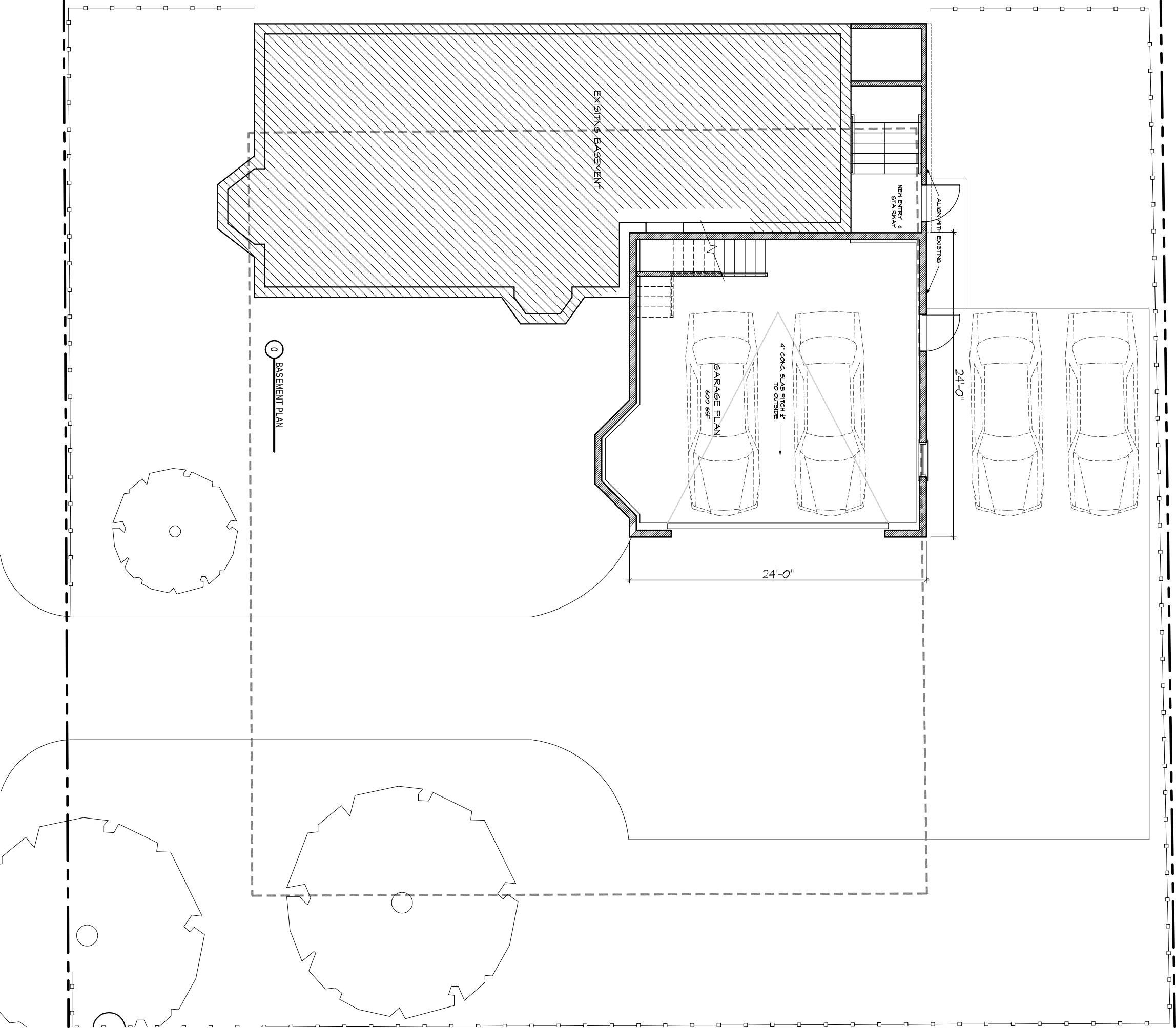
SOMERVILLE MA

SCALE: $\frac{1}{8}" = 1'-0"$

DATE: 11.4.09

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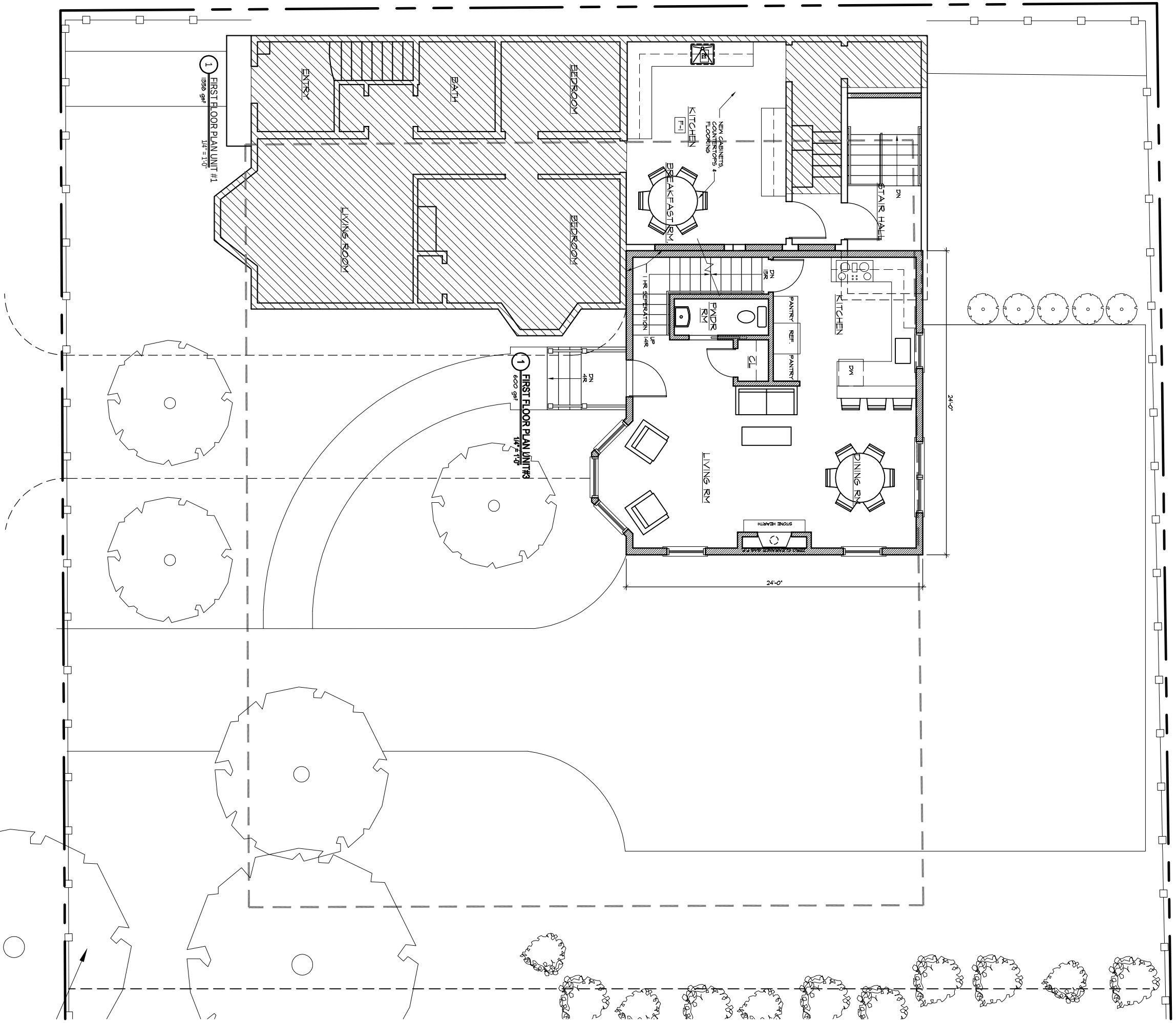
0 BASEMENT PLAN

BASEMENT PLAN

SCALE: 1/8" = 1'-0"

DATE: 11.4.09

ADDITIONS & RENOVATIONS TO 163 HUDSON ST SOMERVILLE MA



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0" DATE: 11.4.04

ADDITIONS & RENOVATIONS TO 163 HUDSON ST SOMERVILLE MA

EXPOSED AIR NOTE: SUM OF THE GROSS FLOOR AREA NOTED BELOW HAS BEEN CALCULATED FROM WITHIN THE OUTER PERIMETER OF THE OUTSIDE EXTERIOR WALLS WITHOUT DEDUCTION OF HALLWAYS, STAIRS, CLOSETS, THICKNESS OF WALLS & COLUMNS OR OTHER FEATURES.

EXISTING NET AREA HAS BEEN CALCULATED AS THE GROSS FLOOR AREA WITH THE DEDUCTION OF CARPETS, BATHROOM AREAS DEVOTED TO STORAGE AND MECHANICAL USE, STAIRWAYS AND STAIR LANDINGS.

EXISTING NET AREA WAS CALCULATED AS 80% OF THE TOTAL GROSS AREA OF THE EXISTING DWELLING.



EXISTING	
TOTAL GROSS AREA =	3884.65SF
	X 80%
TOTAL NET AREA=	3107 NSF
TOTAL NET AREA	
EXISTING:	3107 NSF
ADDITION:	1110 NSF
SUB TOTAL:	4217 NSF

EXISTING

1200 SF

PROPOSED

600 SF

EXISTING

1200 SF

GROUND COVERAGE

EXISTING: 1250 SF

ADDITION: 600 SF

SUB TOTAL: 1250 SF

TOTAL AREA: =

TOTAL LOT AREA: =

MASSACHUSETTS STATE BUILDING CODE

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 7TH EDITION OF THE MASSACHUSETTS STATE BUILDING CODE AS ADOPTED BY THE CITY OF SOVERVILLE. WORK MUST COMPLY WITH ALL APPLICABLE SECTIONS OF THE 7TH EDITION OF THE STATE BUILDING CODE.

BUILDING ZONE
ITEM
MIN LOT SIZE (RA)
PAVELLING AREA
MAX GROUND COVERAGE
MIN LANDSCAPED AREA
FLOOR AREA RATIO
MAX HEIGHT
MIN FRONT YARD
MIN SIDE YARD
MIN REAR YARD
MIN FRONTAGE

TABLE OF DIMENSIONAL REQUIREMENTS
SECTION 8.5 (SZO) AMENDED 1.26.06

SECOND FLOOR PLAN

SCALE: $\frac{1}{8}'' = 1'-0''$ DATE: 11.4.09

ADDITIONS & RENOVATIONS TO 163 HUDSON ST SOMERVILLE MA

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EAST ELEVATION

ADDITIONS & RENOVATIONS TO 163 HUDSON ST SOMERVILLE MA

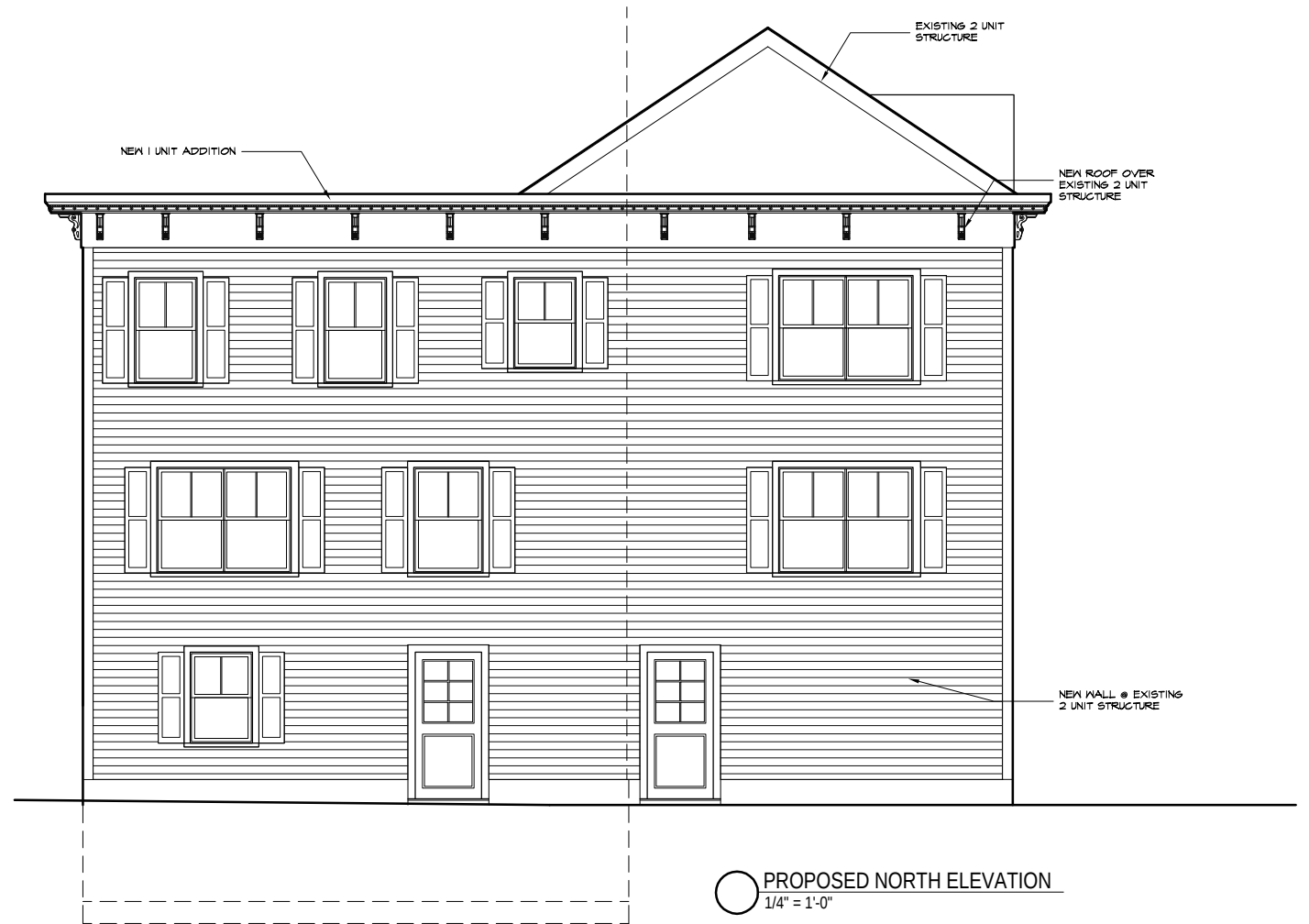
SCALE: 1/8" = 1'-0"

DATE: 11.4.09

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EXISTING NORTH ELEVATION
1/4" = 1'-0"



PROPOSED NORTH ELEVATION
1/4" = 1'-0"

NORTH ELEVATION

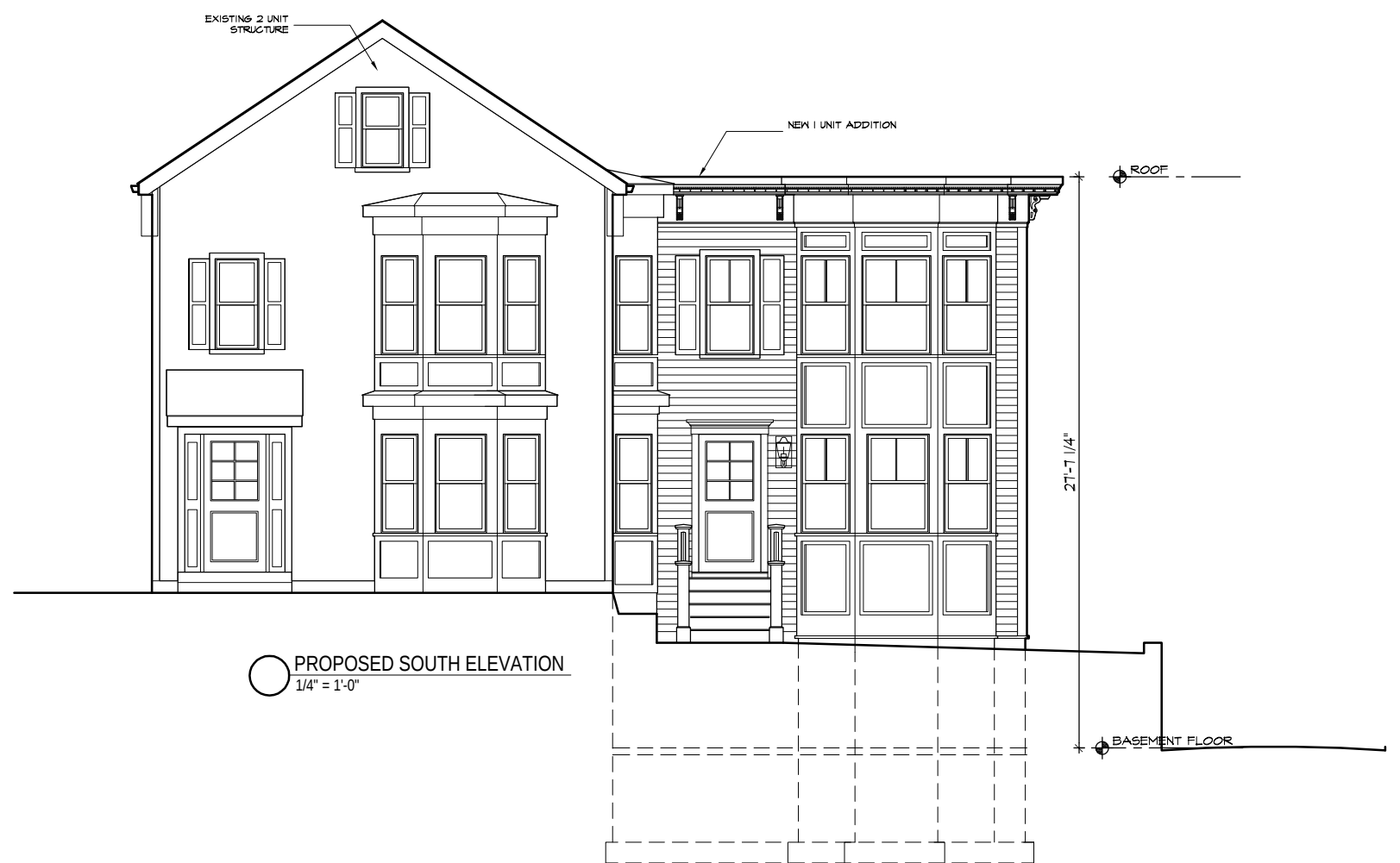
ADDITIONS & RENOVATIONS TO 163 HUDSON ST SOMERVILLE MA

SCALE: $\frac{1}{8}" = 1'-0"$

DATE: 11.4.09



○ EXISTING SOUTH ELEVATION
1/4" = 1'-0"



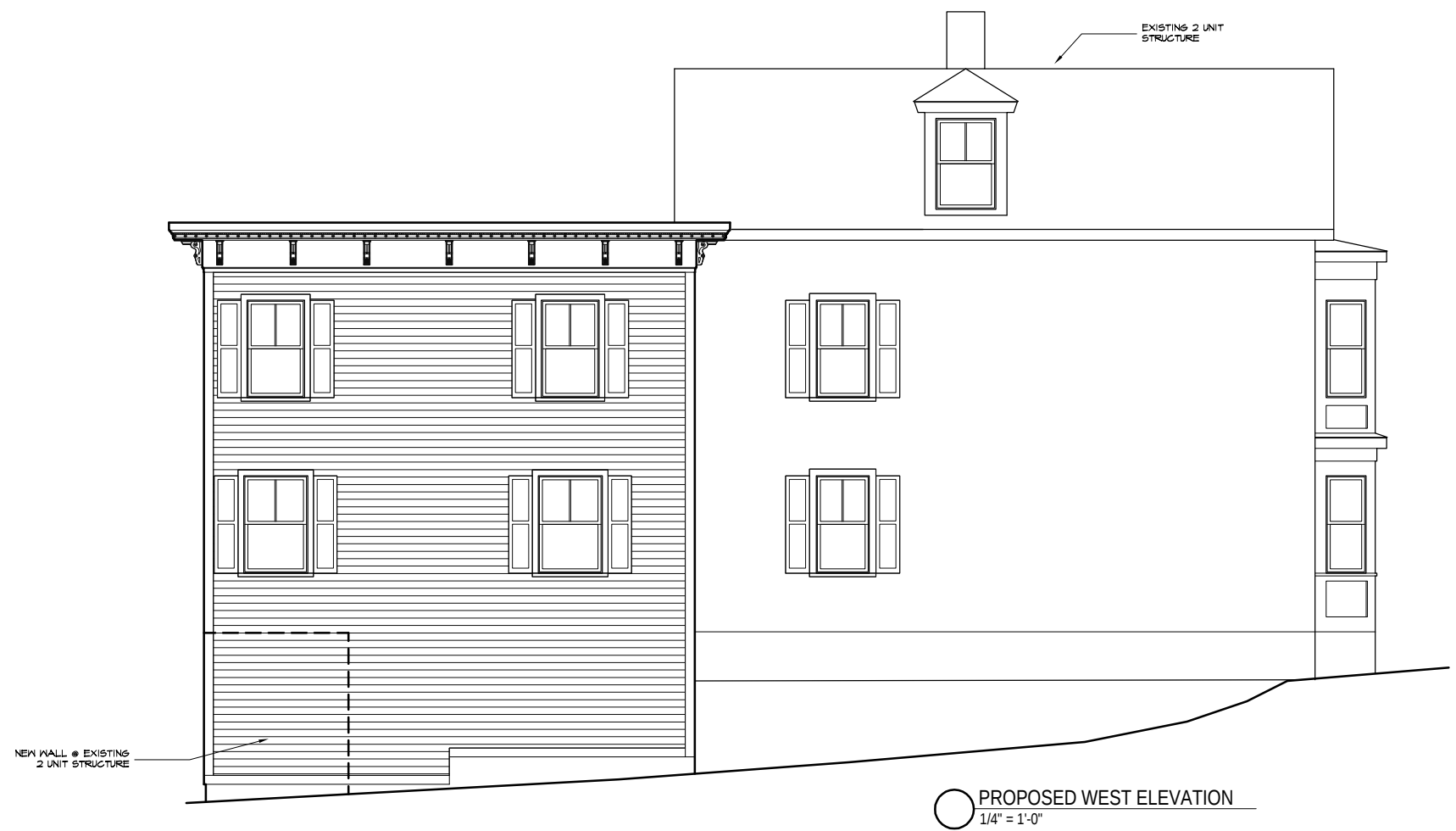
○ PROPOSED SOUTH ELEVATION
1/4" = 1'-0"

SOUTH ELEVATION

ADDITIONS & RENOVATIONS TO 163 HUDSON ST SOMERVILLE MA

SCALE: $\frac{1}{8}" = 1'-0"$

DATE: 11.4.09



WEST ELEVATION

ADDITIONS & RENOVATIONS TO 163 HUDSON ST

SOMERVILLE MA

SCALE: $\frac{1}{8}" = 1'-0"$

DATE: 11.4.09

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